HOMEOWNER MODIFICATIONS & DESIGN GUIDELINES

January 12, 2021



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1.0 INTRODUCTION

1.1 Purpose of Guidelines

The Lakes at Centerra is a community designed to respect the visual character of the neighborhood, minimize environmental impacts and maximize water and energy conservation principles. In order to preserve and enhance these principles, these Design Guidelines and Review Procedures for Homeowner Modifications ("Homeowner Design Guidelines") are established to communicate to each Owner the requirements and procedures for compliance and to maintain standards consistent with the greater Centerra Vision and Values by which the community may grow and develop.

The Homeowner Design Guidelines provide an overall framework to allow the community to develop and progress in an orderly, cohesive, and attractive manner, implementing planning concepts and philosophy which are required by the regulatory agencies including the City of Loveland, Colorado and are desirable to residents. The Homeowner Design Guidelines include minimum standards for the design, size, location, style, structure, materials, color, mode of architecture, and mode of landscaping and relevant criteria for the construction or addition of improvements of any nature. They also establish a process for judicious review of proposed new developments and changes within the Community. However, the Homeowner Design Guidelines are not the exclusive basis for decisions of the DRC, and compliance with the Design Guidelines does not guarantee approval of any application.

1.2 Definition of Modifications

A modification is defined as any alteration, change, remodel, restoration, addition or renovation to any building, structure, site, yard, lot, fence, wall or exterior improvement of any kind or nature. After a new house has been completed, in accordance with the approved plans, and occupied, the Design Review Committee (DRC) becomes responsible for the review of all modifications to the exterior of the structure and lot.

1.3 Who is Subject to the Approval Process

All property Owners are responsible for obtaining the necessary review and approvals to comply with the terms of the Homeowner Design Guidelines and Declaration of Covenants, Conditions and Restrictions (CC&Rs) of The Lakes at Centerra Master Homeowners Association, Inc. The builder is responsible for new construction and homeowners are responsible for any modifications. Each application is reviewed on an individual basis. Each Owner who desires to, make additions, or modifications to their lot and/or home is responsible to ensure that these Homeowner Design Guidelines are adhered to and, that the approval of the DRC is received prior to making such additions or modifications. Plans for any improvement must be in conformance with these Design Guidelines or as permitted under Section 6.9 – VARIANCES, or the CC&Rs for The Lakes at Centerra. Owners are responsible for all cleanup of any improvement project. All debris, sod, soil, etc. shall be removed from the lot and hauled to the proper waste sites. If the project causes damage to any neighboring property, public or private, the Owner is responsible for any necessary repairs, including the costs associated with enforcement of this responsibility, if any.

1.4 The "DRC" Defined

The Design Review Committee (DRC) shall mean and refer to that particular committee which is described and explained within Article 6, DESIGN REVIEW COMMITTEE, of the CC&Rs for The Lakes at Centerra.

1.5 Management Role Defined

Per Article 6.1.b of the Master Declaration, the DRC may utilize The Lakes at Centerra Master Homeowners Association, Inc. (Association) management personnel for the administrative processing of Design Review requests. Administrative Review may include receipt of applications, counseling Owners regarding the Homeowner Design Guidelines and their submissions, conducting an initial review of applications to assure they are complete, presenting applications to the DRC, and notifying Owners of DRC's decisions. Management personnel may review applications in accordance with the Design Guidelines. Any variations from the Design Guidelines must be submitted to the Master DRC for review and approval.

1.6 Design Review Process

The following is a brief outline of steps needed to complete and submit a request for modification:

- Log on to the resident portal on our website at www. lakesatcenterra.com.
- Navigate to the Design Revew Application: https:// residents.lakesatcenterra.com/resident-resources/ design-review/design-review-application/.
- Review the form and check the appropriate section of the Homeowner Design Guidelines. If you need more information or have questions, call the association office at 970-776-9028.

THE LAKES HOMEOWNER MODIFICATIONS & DESIGN GUIDELINES

- Complete the form and attach all supporting documentation/information as indicated in the "Submittal Requirements" paragraph in the Homeowner Design Guidelines for your specific improvement.
- For applications concerning landscaping, or any other exterior improvement, a \$2,000 refundable deposit is due at the time of application for any home bordering a common area of the community. Once the improvement project is completed and has been inspected by the association, the deposit will be released back to the homeowner less any damages done to the common area.
- Once the form is complete and all documentation has been uploaded, click submit.
- You may also submit a paper application to the association office, at The Lake Club, 4555 Long Pine Lake Drive, Loveland, CO 80538 or email your request to residents@lakesatcenterra.com.
- Association Management will review your request to determine if all information has been included. Incomplete requests will be returned to the Owner without review.
- The DRC meets on a biweekly basis. If no response is provided by the DRC within forty-five (45) days of submittal, the request will be deemed denied.
- Once the DRC approves your request, a copy of your request along with a letter indicating the DRC's decision will be emailed to you and construction may begin immediately.
- If your request is denied, specific reasons for the denial will be provided. You may then revise your request and resubmit.
- If the Owner disagrees with the decision of the DRC, the Owner may request an appeal in writing to the DRC within thirty (30) days after such decision. In the appeal, the Owner can request to be present for the appeal and may submit supplemental information to provide clarification. The DRC's decision after appeal shall be final.
- Homeowners are encouraged to share this policy with their contractors and add provisions to their contracts that require compliance by the contractor and compensation to the homeowner if the contractor causes damage that causes the homeowner to forfeit the deposit.

1.7 City of Loveland Building Permits

Owners are advised that the City of Loveland requires certain permits, depending on the proposed change, alteration or addition. It is the Owner's responsibility to comply with permit requirements. Owners should contact the City of Loveland Building Department for further information. Prior to submittal of a request for a permit to be issued by the City of Loveland, the Owner will obtain the approval of the DRC of any improvements requiring approval. Any permit or approval issued by the City of Loveland shall in no manner whatsoever bind the DRC with respect to approval or denial of any application for items submitted for consideration; the DRC shall be fully independent and will have full authority for approval or denial of any such matters.

1.8 Use Restrictions

As part of the Homeowner Design Guidelines, this document contains Use Restrictions in Section 3. The Rules and Regulations apply to Owners at all times, not just when submitting items for design approval. It is therefore important that all Owners refer to this document often.

1.9 Enforcement

The Homeowner Design Guidelines will be enforced as described and explained within Article 6.8, ENFORCEMENT, of the CC&Rs for The Lakes at Centerra.

2.0 DESIGN GUIDELINES

The following list includes restrictions as well as a wide variety of specific types of improvements typically considered by homeowners with pertinent information as to each. The list is organized alphabetically by topic for ease of use. Unless otherwise specifically stated, DRAWINGS OR PLANS FOR A PROPOSED IMPROVEMENT MUST BE SUBMITTED TO THE DRC FOR REVIEW AND WRITTEN APPROVAL BEFORE THE IMPROVEMENT IS MADE

(See SECTION 1 - INTRODUCTION FOR DETAILS ON THE DRC REVIEW PROCESS).

In some cases, where it is specifically so noted, a homeowner may proceed with the improvement without advance approval by the DRC if the homeowner follows the stated guidelines, In some cases, where specifically stated, a type of improvement is prohibited. ANY OTHER IMPROVEMENT NOT SPECIFICALLY LISTED HEREIN REQUIRES DRC REVIEW AND WRITTEN APPROVAL.

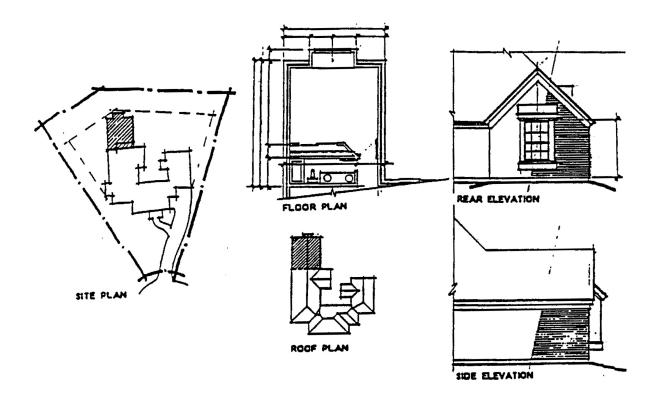
2.1 Additions/Remodels

Any and all additions, alterations, and renovations to the exterior of an existing house shall be compatible with the design of the original house in style, detailing, materials, and color. When any additional, alterations, or renovations are performed to the exterior of an existing house, the established Lot drainage shall not be altered.

Submittal Requirements:

A set of floor plans, elevations, roof plans, and site plans drawn to scale.

All colors and materials (roofing, siding, masonry, etc.) should match or complement the existing home. Submit color samples, manufacturer, color name and number, etc., for review.



2.2 Attic Ventilation/Rooftop Appendages

Attic ventilators are preferred to be the "pancake" low profile type. Attic ventilators shall not extend above the roof ridge. Roof ridge vents are acceptable. Rooftop appendages, vents, stacks, ventilations, sky lights, etc., whenever possible should be located on the rear slopes of the roof. Rooftop appendages are to be painted to match or blend with the color of the roof.

Roof mounted HVAC equipment and evaporative cools are not permitted.

Skylights and solar tubes will be considered on a case by case basis.

Submittal Requirements:

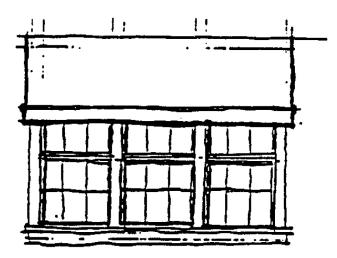
Except for skylights and solar tubes, none required provided you comply with the above guidelines. Owner must provide dimensions and catalog specifications/photos of requested skylights and/or solar tubes.

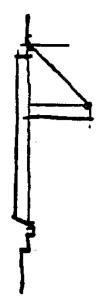
2.3 Awnings

Awnings or similar shading devices are permitted on the side and rear of the home and shall be an integral part of the house or patio design. Awnings and shade devices must be consistent in color and materials, they must be canvas or other woven material that complements the home and the Neighborhood. No rigid metal or plastic awnings are permitted. No advertising or logos are allowed on awnings. Colors must be solid and neutral in tone.

Submittal Requirements:

Owner must provide size of awning and a swatch of material to be used along with plot map showing location of awning.





2.4 Basketball Goals

Backboards shall be pole mounted and shall preferably be transparent acrylic. White, black, or grey backboards are acceptable. Poles shall be metal or fiberglass painted black.

Placement of basketball goal and pole shall be located to minimize visual and use impact to neighboring properties.

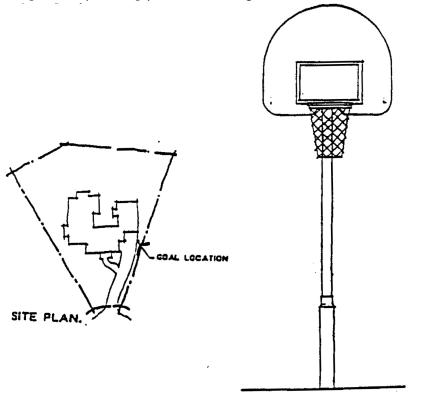
Basketball goals are not allowed to be mounted on a house, garage, shed, etc.

Portable goals are recommended. Portable goals cannot be placed in the public right-of-way, streets or sidewalks, per City of Loveland Ordinance.

Only one goal per lot is allowed.

Submittal Requirements:

None required provided you comply with the above guidelines.



2.5 Birdhouses

Birdhouses and Birdfeeders. Each bird house is limited to 1' x 2' x 18". If the birdhouse or bird feeder is to be pole-mounted, the maximum height shall be eight (8) feet from grade to top of feeder.

Birdbaths. Maximum of one (1) birdbath if it is less than three (3) feet tall, including pedestal.

Submittal Requirements:

None required provided you comply with the above guidelines. Additional units or location in "front" or "side" yard requires DRC approval.



2.6 Color Changes

If a homeowner wishes to repaint his/her home with the same existing color, no submission is required. Any color/stain change must be submitted. Streetscapes are intended to have variety and interest with a carefully selected palette of colors. Rich, deep earthtone colors are required. Primary and pastel colors are strongly discouraged. Use of off white, beiges and tans will only be allowed on a limited basis. Houses shall have a minimum of 3 different colors for siding, trim and accent/door.

Exterior color schemes may not be repeated side-by-side and should not be used on more than 20% of any group of homes all on the same side of a street in any given block (meaning, for example, that if ten homes face Oak Street on a block bordered by A Street on one end and B Street on the other end no one exterior color scheme could be used more than twice). A color scheme is comprised of a body color, a trim color and an accent color. Stone or brick, if part of the exterior detail, is not restricted.

Submittal Requirements:

The manufacturer's paint chips or samples indicating a manufacturer's color number (or name) and the respective location the homeowner would like to paint the color (i.e., Kwal / base – Knapweed CL2893M, trim – Star Thistle CL2891W, and accent – Vine Bloom CL2896N). Paint must be flat or low luster, (i.e., satin). Painting brick or stone is not permitted.

Photo of existing house and neighboring houses showing the current paint/stain, stone or stucco color.

2.7 Decks/Patios

Decks shall be of redwood, cedar, "Trex" or comparable product or other material approved by the Committee. Pressure treated pine is permitted for the structure only or for areas not exposed to public view (e.g., first floor decks on interior lots).

Patios may be concrete, concrete stepping blocks, brick, concrete pavers, stone, or other materials as approved by the Committee.

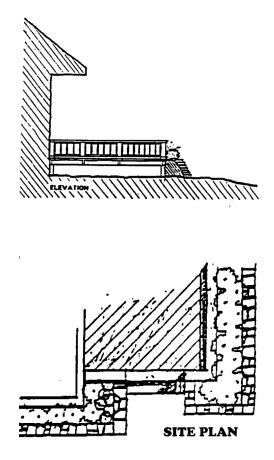
Decks, patios, covered patios, columns and posts supporting porch roofs, covered patios, shade structures, second level decks etc. shall be designed to architecturally integrate with the style of the house. Front porches shall have concrete floors integrated with the foundation of the house. Rear Porches and Decks elevated 4'-0" or more above grade shall have columns/support posts that are a minimum of 12" x 12" size unless specifically approved by the DRC. No elevated porch or deck shall exceed 10'-0" above grade excluding cantilevered balconies.

The new deck/patio shall not alter the drainage patterns established by the Master Drainage Plan.

Refer to Decks/ Patios Supplemental Information for additional requirements.

Submittal Requirements:

A site plan drawn to scale, showing the house, the location of the deck and or patio, easements, and the property line. Building plans, including railing, bench, screening and other details or photos of the proposed design elements. Color and/or stain samples and manufacturer specifications.



2.7.1 Decks/ Patios Supplemental Information

Encroachments Permitted Into The Minimum Setbacks

The following features shall be allowed within the minimum required Setbacks subject to the requirements of Millennium General Development Plan Section 7.13 Sight Triangles (included below for your ease of reference):

- A. Landscaping and irrigation including trees and shrubs and other features of natural growth subject to planting offsets from utility lines as required by the City.
- B. Fences or walls subject to height and other restrictions stated in this GDP and, if applicable, the City code.
- C. Driveways and sidewalks.

D Utilities

- 1. Underground Utilities including service lines
- 2. Above ground Utilities including meters, ground mounted air conditioning units, satellite dishes and similar appurtenances as long as they are located so as to minimize visual intrusion and front yard lamp post fixtures.
- E. Architectural features that do not extend more than two feet into a minimum required setback, including but not limited to cornices, canopies, awnings, eaves, gutters and downspouts. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- F. Architectural design embellishments that do not extend more than two feet into a minimum required setback, including but not limited to bay windows, balconies and similar sized cantilever floor areas. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- G. Chimneys, flues and residential ventilating ducts that do not extend more than two feet into a minimum required setback. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- H. Open outside stairways, necessary landings together with railings that do not extend more than five feet into a required front or rear setback and/or not more than two feet into a minimum required side setback.
- I. Covered porches, covered or uncovered decks, terraces and patios attached to a dwelling that do not extend more than five feet into a minimum required rear setback.
- J. Window wells that do not extend more than three feet into a minimum required setback and/or private side yard drainage easement. In side yard locations the encroachment is allowed as long as there is sufficient space to accommodate the drainage flows be-tween the abutting lots.

Sight Triangles

Sites shall be designed so that plants and structures on the site do not interfere with the safe movement of motor vehicle traffic, bicycles or pedestrians.

No plants, foliage, wall, fence or berm higher than twenty four (24) inches above the top of the curb shall be located within the sight distance triangle on any corner of the property adjoining an intersection. Sight distance triangles shall comply with the minimum sight distance requirements defined by the Larimer County Urban Area Street Standards.



2.8 Dormers

Dormers, when used, should be functional or appear as such, and be accessible from the interior of the home. For dormers with windows larger than 2'-0" by 2'-0", the interior walls and ceiling shall be finished (taped, bedded, textured and painted) to appear as a room from the exterior. Alternative methods to "blacked-out" windows may be approved by the DRC on a case by case basis. For dormers with Low E type windows 2'-0" by 2'-0" in size or smaller, the interior walls, ceiling, trusses, etc. may be painted black. When possible it is encouraged that the dormers provide natural light into the home's interior. Dormer windows which are painted black (or other dark color) have a tinted film applied are prohibited.

Submittal Requirement:

A set of floor plans, elevations, roof plans, and site plans drawn to scale. All colors and materials (roofing, siding, masonry, etc.) should match or complement the existing home. Submit color samples, manufacturer, color name and number, etc., for review

2.9 Fencing

Open views throughout the neighborhood are extremely important to the natural character of the community. Fences are optional on any Lot. Two fence styles are allowed in The LAKES at CENTERRA. The first is a cedar open three-rail style that may be used in side and rear yards for perimeter fencing. The second is a solid privacy fence/wall that may only be used in limited applications on the rear elevation of the house to provide privacy for spas, hot tubs, patios, etc. and in conjunction with front yard functional outdoor courtyard living areas. Privacy fences are prohibited from use as any type of perimeter lot fencing. Side yard fences shall be set back a minimum of 4' 0" from the front facade of the house. Fences that front on a public street must have continuous landscape plantings of shrubs, ornamental grasses, perennials etc. on the street side of the fence.

2.9.1 Open Fencing Criteria

Open fencing enhances the views to and from amenity areas such as lakes and open spaces while still containing pets and children. All open fencing shall comply with the details in Figures 2.9A, 2.9B, 2.9C, 2.9D and 2.9E.

Heights. Fence height shall not be greater than necessary for its intended use. Fence heights shall be a maximum 4'-0".

Location. Perimeter fencing must be installed on the property line unless otherwise approved by the DRC. Specific fence placement is subject to various restrictions relative to location. The following basic rules shall be adhered to:

- a. Fencing (in its entirety) is solely restricted to the Owner's property. Fences shall not encroach into any public street right-of-way (ROW) or designated open spaces.
- b. Fencing shall NOT be placed in the front yard and shall be set back a minimum of 4'-0" from the front façade of the house.
- c. Fencing on a side yard on corner lots with secondary street frontage shall be set back a minimum of 4'-0" from the adjacent attached sidewalk along the street. The 4'-0" setback between the fence and the side-walk shall be irrigated and continuously landscaped with shrubs, ornamental grasses or other landscaping that is a minimum height of 2'-0" at growth maturity.
- d. Open fencing may be used along the perimeter of the Lot in the rear and interior side yards. Open fencing shall be located outside all public ROW's and site triangles.
- e. If mesh is desired by the owner to be installed with fencing, it must be wire mesh (no chicken wire) with dimensions of 2"x2" or 2"x4". The mesh must be installed on the interior side of the horizontal fence rails.
- f. Double fencing is prohibited.
- g. Fencing installed along property lines where retaining walls exist shall be located on the high side of the wall.
- h. Lots with rear yards adjacent to community common open spaces shall include a gate as detailed in Figure 2.9A on the rear property line for access to and maintenance of the fence.

Materials. Open fences shall be rough sawn cedar. Dimensional and pressure treated lumber is strictly prohibited.

Color and Finish. All cedar for open fences shall be left in its natural color. A clear coat or sealant may be applied. Any stains or sealants that alter the natural color of the fence are specifically prohibited.

Easements. If an easement occurs within a property, it is to be maintained by the property Owner. Fence construction within any easement is at the risk of the homeowner. Fences shall not obstruct lot drainage easements.

Submittal Requirements:

Scaled site plan showing existing structures, proposed fence location, proposed gate location and type of fence.

2.9.2 Privacy Fencing Criteria

Privacy fences and walls shall be allowed on a very limited basis. Their function is to help screen selected personal areas from neighboring and public view.

Heights. Fence/wall height shall not be greater than necessary for its intended use. Fence/wall heights shall be a maximum of 6'-0" (as measured from the finished grade).

Location. Fence/wall placement is subject to various restrictions relative to location. The following basic rules shall be adhered to:

- a. Privacy fencing/walls are limited to the rear yard and the front yards in conjunction with a functional outdoor courtyard living area.
- b. Privacy fencing must be attached to the dwelling, located within the building envelope of the Lot and not encroach into any building setbacks.

Materials.

- a. Privacy fences/walls should be designed as an architectural extension of the dwelling and be of the same materials and colors.
- b. Unacceptable and Prohibited Materials (not all inclusive)
 - Lattice panels
 - Sheet or expanded metal and stamped metal posts
 - Plastic, PVC or fiberglass (corrugated, flat or woven)
 - Rope, bamboo, or reed

Color and Finish. Finishes should be applied to all sides of the fence/wall and colors shall match the dwelling.

Submittal Requirements:

Scaled site plan showing existing structures, proposed fence/wall location, details of design, type of materials, finish, color, and height.

2.9.3 Dog Run Fencing Criteria

This applies to all address except for the following addresses:

- 4106, 4125, 4145, 4165, 4185, 4195, 4420, 4440, 4460, 4480 Long Pine Lake Drive
- 2659, 2669, 2679, 2682, 2689, 2692, 2702, 2705, 2708, 2713, 2720, 2721, 2729, 2737, 2744, 2745, 2750, 2753, 2756, 2762, 2768, 2774, 2780, 2786, 2792, 2798 Cub Lake Drive

If located at one of the above addresses, refer to Section 2.9.4 for Dog Run Fencing Criteria.

Dog Houses shall not exceed 15 square feet in size.

Pet enclosures shall use the cedar three rail open fence design with the welded wire mesh option applied to the inner side of the fence. See figures 2.9A, 2.9B, 2.9C, 2.9D, and 2.9E for fencing details and specifications. One pet enclosure is allowed for each lot. No pet enclosures are allowed on attached townhome lots.

Location: Based on lot sizes, pet enclosures are restricted to the rear or side yards as follows:

45' wide lots - rear yard 50' wide lots - rear yard 60' wide lots - rear yard 75' or wider lots - rear or side yard

Pet enclosures shall abut the dwelling on the lot.

Size: The maximum size for a pet enclosure shall be 300 square feet.



Materials: Pet enclosures shall contain appropriate ground cover including gravel, mulch, crusher fines, etc.

Owner may be requested to screen the pet enclosure from view of neighboring houses and/or common area. Dog Runs/Dog Houses must be maintained at all times to include timely clean up/removal of dog waste and elimination of odors.

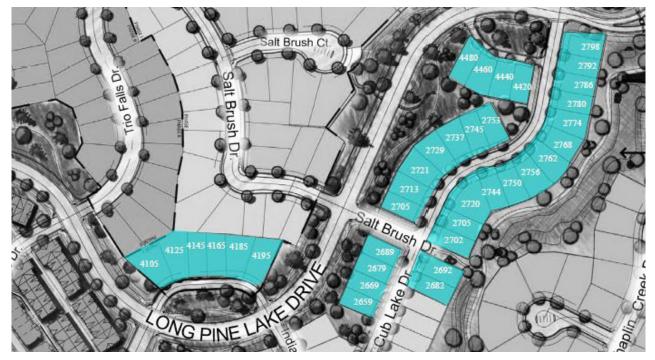
Submittal Requirements:

Owner must provide a plot map showing where the pet enclosure is to be installed on the Lot.

2.9.4 Dog Run Fencing Criteria For Lots Highlighted Below

Applies to the following addresses:

- ¹4106, 4125, 4145, 4165, 4185, 4195, 4420, 4440, 4460, 4480 Long Pine Lake Drive
- 2659, 2669, 2679, 2682, 2689, 2692, 2702, 2705, 2708, 2713, 2720, 2721, 2729, 2737, 2744, 2745, 2750, 2753, 2756, 2762, 2768, 2774, 2780, 2786, 2792, 2798 Cub Lake Drive



Pet enclosures shall use the Active Yards - Granite style aluminum picket fence "Home Series" in the Pewter color. See figure 2.9F and 2.9G for fencing details. One pet enclosure is allowed for each Lifestyle Patio Home lot.

Location: Rear yard only and shall abut the dwelling unit. Fences shall be setback from the property lines as follows:

- a. Fencing shall not encroach into the side yard beyond the side of the home.
- b. Minimum 10' 0" from any rear property line.

Size: Pet enclosures shall have maximum dimensions of 10'-0" deep by 25'-0" wide and be adjacent to the rear of the dwelling unit with the following exception:

a. The above dimensions may be exceeded if necessary to enclose an area beneath a raised deck or to include deck to ground stairs.

Materials. The optional welded wire mesh shall be attached to the inner side of the fence. Pet enclosures shall contain appropriate ground cover including, gravel, mulch, etc.

Submittal Requirements:

Owner must provide a plot map showing where the pet enclosure is to be installed on the Lot.

2.9.5 Trio Falls Drive Townhome Front Yard Fencing

Applies to the following addresses (also shown in the exhibit below): • 2403, 2405, 2407, 2409, 2411, 2413, 2415, 2416, 2417, 2419, 2421, 2422, 2423, 2425, 2427, 2428, 2429, 2431, 2433, 2434, 2435, 2441, 2443, 2445, 2447, 2449, 2451, 2453, 2455, 2457, 2462, 2464, 2466, 2468, 2469, 2470, 2472, 2473, 2474, 2476, 2477, 2480, 2481, 2482, 2484, 2485, 2486, 2489, 2490, 2493, 2494, 2497, 2498, 2563, 2565, 2567, 2569, 2573, 2575, 2577, 2579, 2581, 2583, 2585, 2587, 2589, 2591, 2593, 2595, 2597, 2599 Trio Falls Drive

Attached townhomes are, by nature, very different from single family detached homes. The outdoor living area including decks, patios and countyards are located in the front and, for end units, the side yards. Fencing for townhomes should blend with the architectural style of the buildings. All townhome fencing shall comply with the details in Figures 2.9H.

Height: Maximum 4'-0"

Location: As specified on the DRC approval plot plan for each townhome building.

Materials: Active Yards - Granite style "Home Series" aluminum picket fence.

Color/Finish: SolarGuard color retention technology - Pewter color.

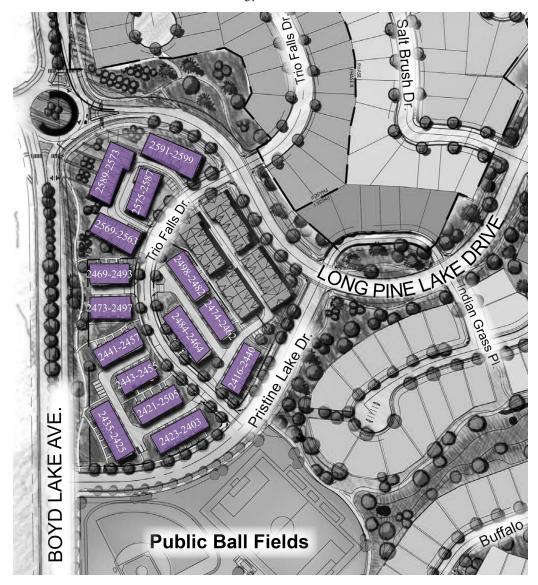


FIGURE 2.9A - Cedar Rail Fence OUTSIDE See Section 2.9 for Details

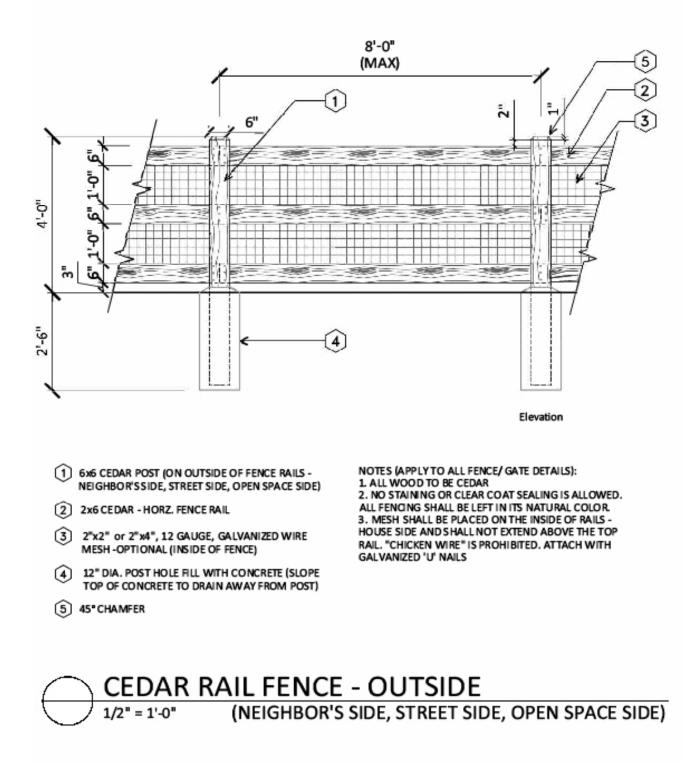


FIGURE 2.9B - Cedar Rail Fence INSIDE See Section 2.9 for Details

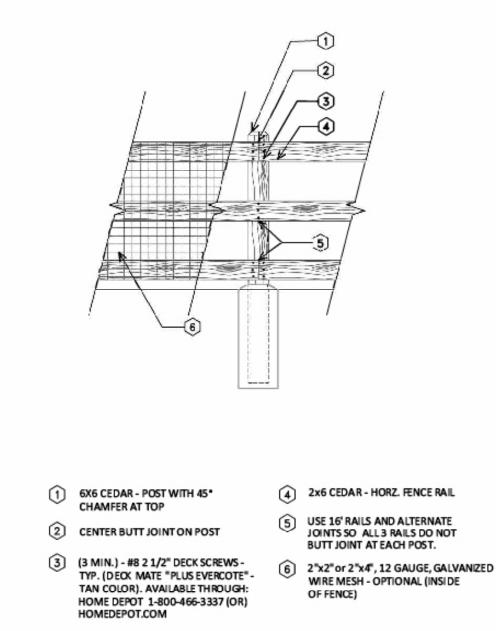
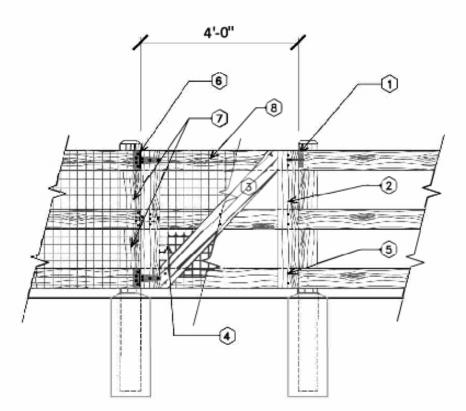




FIGURE 2.9C - Cedar Rail Fence Gate - INSIDE See Section 2.9 for Details



- GATE LATCH (#76-3825-CD1261) HEAVY GAUGE, SELF-LATCHING ACTION AND LOCKABLE WITH 1/2" CLEAR BETWEEN GATE AND POST
- (2) 2X6 CEDAR VERT. GATE FRAME MEMBER
- 3 2X6 CEDAR GATE BRACE RAIL
- 2"x2" or 2"x4", 12 GAUGE, GALVANIZED WIRE MESH -OPTIONAL (LOCATE BETWEEN HORZ. RAIL AND FRAME MEMBER / BRACE RAIL)
- (5) (2) #8 2 1/2" DECK SCREWS TYP. (SEE FENCE NOTE)
- (6) (2 MIN.) T-HINGE (#908-6-US2C) 6", HEAVY GAUGE
- (7) 2X6 CEDAR BLOCKING AT GATE WITH MESH OPTION
- 8 2X6 CED AR HORZ. GATE RAIL

NOTES:

1. ALL GATE HARDWARE SHALL BE ZINC PLATED STEEL 2. HAR DWARE AVAILABLE THROUGH: STANLEY HARDWARE PRODUCTS 1-800-346-9448 (OR) STANLEY HARDWARE.COM



FIGURE 2.9D - Alternative "Sandwich" Fence Detail for Lots Adjacent to Public Street or Common Space - OUTSIDE See Section 2.9 for Details

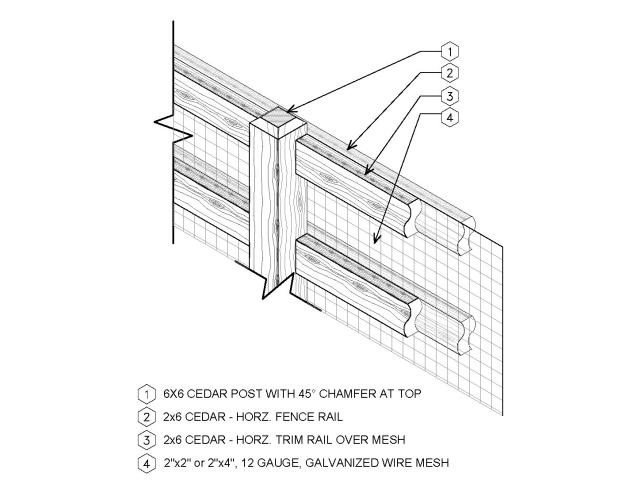






FIGURE 2.9E - Cedar Rail Fence Mesh Photo Examples See Section 2.9 for Details





CORRECT (top picture): View is looking out from inside of fenced yard. Mesh is installed on interior side of horizontal rails.

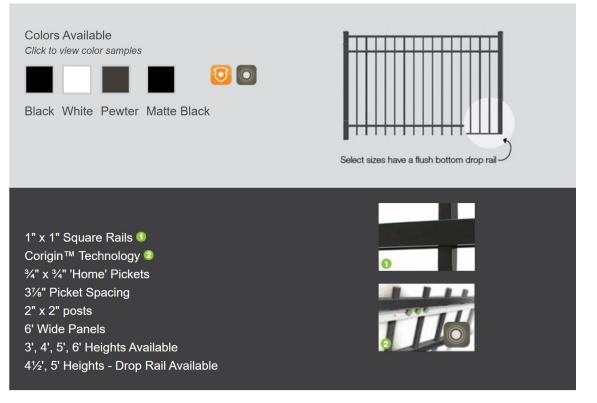




INCORRECT (bottom picture): View is looking in from outside of fenced yard. Mesh is installed inbetweeen the horizontal slats and fence posts.

FIGURE 2.9F Patio Homes Dog Run Fence Specifications See Section 2.9.4 for Details

HOME SERIES



Active Yards Fencing Solutions, Home Series , Granite Drop Rail, Color Pewter Or Equal as approved by DRC



FIGURE 2.9G Patio Homes Dog Run Layout See Section 2.9.4 for Details

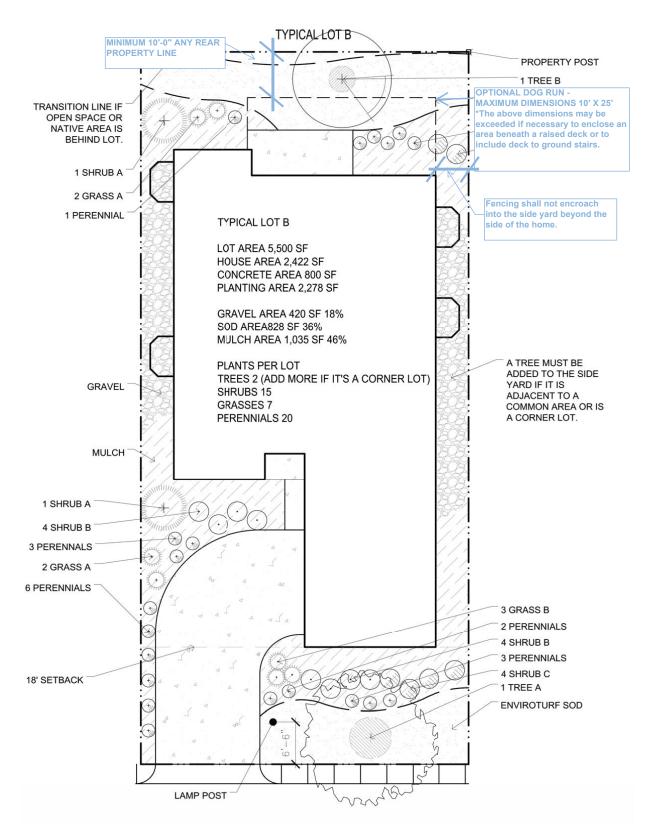
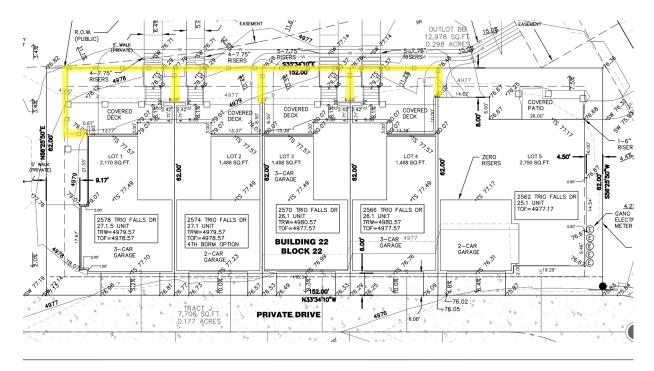
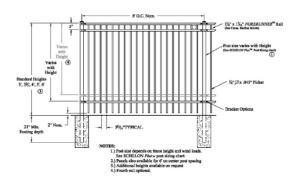


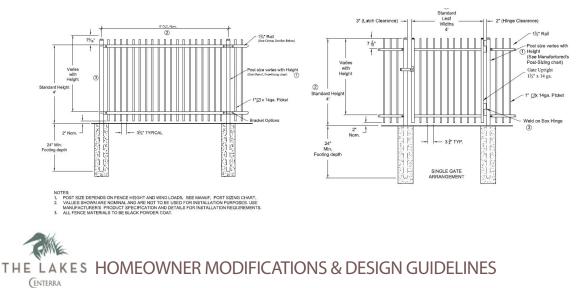
FIGURE 2.9H - Trio Falls Drive Townhomes Fence Detail See Section 2.9.5 for Details



Townhomes Fence Details Option 1



Townhomes Fence Details Option 2



2.10 Fireplaces and Barbecue Pits (Outdoors)

Permanent outdoor fireplaces and barbecue pits shall be finished with masonry, brick and/or stone and shall blend with the masonry material used on the house.

Fireplaces and pits shall be located in the side yard, rear yard or in front yard functional outdoor courtyard living areas. Fireplaces and pits shall be located within the building envelope established for the house. They may not encroach any easement or alter the surface drainage on the lot per the Subdivision Grading Plan.

These structures should be in scale with and integrated into the design of the house structure, deck and/or land-scape areas and shall be sited in consideration of neighboring properties.

The maximum height for fireplaces, excluding chimneys, shall not exceed eight feet (8'-0"). Height of the chimney shall be as required for operation and code compliance.

Submittal Requirements:

Site plan with locations of fireplace or barbecue pit identified, samples of materials proposed to be used.

Architectural drawings with dimensions of proposed items.

2.11 Flagpoles

In accordance with 38-33.3-106.5 of the Colorado Common Interest Ownership Act (CCIOA), the association may adopt reasonable rules regarding size and manner of the display of service flags; except that the maximum dimensions allowed shall not be less than nine inches by sixteen inches.

Owners are allowed to have one single pole with one single flag on a flag mount on any one residential lot, attached to the front face of the home not exceeding 4 feet above any eave to display the United States flag, or a Military Flag.

Novelty flags, whether that of a college, professional sports team, or purely decorative in nature are only allowed for a finite period of time (typically one season unless otherwise approved).

No flag may exceed 3'x 5', and no flag may be displayed which is, in the opinion of the DRC, offensive to good taste or decency.

Owners must apply for approval for a free standing flag pole; the pole must:

- 1. Not exceed 12' in overall height
- 2. Must be located within the rear yard only
- 3. Be for purpose of the display of the United States flag and a second flag of the State of Colorado or an official flag representing a division of the United States Military
- 4. No flag may exceed 3' x 5'. No other flags of any type may be displayed, unless specifically approved by the DRC, in writing. Flags will not be allowed to be draped on decks. Those residents choosing to display the United States Flag must adhere to the United States Flag Code, Title 4, Chapter 1."

Accent, spot and/or up lighting of any flag is strictly prohibited. Flags must be downlit utilizing The Beacon system or equal.

Submittal Requirements:

Flags that are attached to home - No requirements if the above criteria are met.

Freestanding Flag Pole - Submit plan with proposed location of freestanding pole, cutsheet for pole.

2.12 Fountains/Statuary

Fountains shall be limited to four feet in height and shall be of natural material, color and design which compliments the overall architecture of the house. Fountains must not allow stagnant pools of water.

Decorative components such as statues and artifacts shall be limited in height to four feet.

Seasonal statues, artifacts, and other decorative landscaping items will be allowed between November 15th and January 15th, and ten (10) days before and after a nationally recognized holiday.

Plastic statuary, plastic yard ornamentation and plastic planters will not be allowed.

The DRC reserves the right to limit the number of statues on a lot.

Submittal Requirements:

Owner must provide a plot map showing where the fountain or statuary is to be installed and a photo along with dimensions.

2.13 Gazebos

The gazebo must be an integral part of the rear yard landscape plan and must not obstruct the adjacent property owner's view. The gazebo design and color must compliment the architectural style of the house.

Maximum square footage is 150'. Setback is a minimum of 10' from all walls and must meet the City of Loveland property setback requirements. Maximum height shall be 10' at the highest point.

Any lighting must be approved and cannot shine into a neighboring lot.

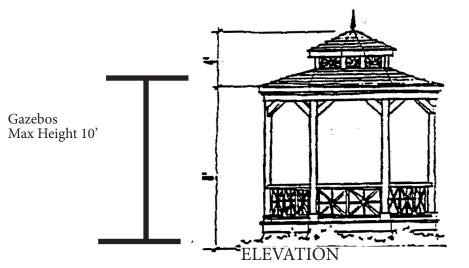
The gazebo shall be constructed of a material that is the same or complementary to the existing home. In cases where redwood, cedar or pressure treated lumber is used, the material may be painted to match the home or sealed to prevent weathering.

Roof materials must match existing home.

Screen material must match existing home and not be reflective.

Submittal Requirements:

Owner must provide a plot map showing where the gazebo will be installed on the Lot; materials, color, dimensions and photo of design.



2.14 Gutters/Downspouts

Gutters and downspouts shall match the color of the house siding material or trim it is adjacent to.

Downspouts must not direct water onto adjacent properties. Water from your property must "sheet flow" before it enters into the drainage easements and the sidewalks along the streets. No piped drains are allowed to have an outlet which directs water to adjoining lots or open space.

Submittal Requirements:

None required provided you comply with the above guidelines.

2.15 Hot Tubs/Spas

Hot tubs or spas must be an integral part of the deck or patio area of the rear yard landscaping. The hot tub or spa must be installed so that it is not immediately visible to adjacent Lots and that it does not create an unreasonable level of noise for neighboring properties. In some instances, additional plant material or privacy fence around the hot tub or spa may be required for screening.

Hot tubs and spas shall not protrude more than 24" above grade, unless mitigating measures are taken with landscape or other methods to fit the improvement into the site.

Concentrated drainage (i.e., pipes) to the common areas, or neighboring properties is not allowed.

Spas and hot tubs are limited to side and rear yards and may not encroach in any setback. Only one spa or hot tub is allowed per lot.

Structures such as a gazebo, cover, trellis or decking arc subject to a separate review and approval.

All hot tub/spa equipment must be fully screened on all sides with an architectural screening wall to match the materials and colors of the house.

Submittal Requirements:

A catalogue clipping, photograph, description, color, material, and dimensions of the improvements.

A site plan showing the location of the equipment, existing structures, and property.

2.16 House Address Numbers

Each house is required to have black address numbers or as otherwise specifically approved by the DRC and to be mounted on a conspicuous surface near the front door or front facing garage door.

General Notes:

- a. Address Numbers shall be placed in a prominent location easily visible from the public street.
- b. Locate either above the garage door(s) or near the front entry door.
- c. Center Numbers horizontally above garage door and center vertically between top of garage door and eave.
- d. Offset Numbers a minimum of 1 inch from front door jamb; install at a minimum of 3'-6" from ground/ top of front porch.
- e. Light colored address numbers for homes with darker color schemes are permitted and will be reviewed on a case by case basis.
- f. Illumination of address numbers is permitted if downlit and installed professionally.

Submittal Requirements:

No requirements if the criteria above is followed.



4" tall x 1/4 thick Numbers Aluminum Powdercoated finish (black or white)

2.17 Landscape and Irrigation

The LAKES at CENTERRA community is planned as an environmentally responsible community. Principles of sustainability and water-wise landscaping should be incorporated into the selection of plants and materials, design and maintenance of the landscape.

2.17.1 Timeframe for Installation

The Lot must be fully landscaped by the end of the first planting season following the date of Certificate of Occupancy (CO) for the house, but in no event more than 9 months following the date of CO.

2.17.2 Zones

Plants of like watering needs should be grouped together in zones to allow for the most efficient watering.

2.17.3 Landscape Palette Recommendations

All introduced vegetation within The LAKES at CENTERRA shall be trees, shrubs, vines, ground covers, seasonal flowers or turf grasses which are commonly and successfully used in Northern Colorado for landscaping purposes. Xeriscape design is strongly encouraged. Included at the end of this landscape section is the list of approved plants for landscaping in The LAKES at CENTERRA. Artifical plants are specifically prohibited.

2.17.4 Turf Limitation

To encourage water-wise landscaping, no more than 45% of the total landscaped area (the total Lot area excluding the house footprint, driveway, sidewalk and patio) of any Lot shall be irrigated turf. Reference Figure 2.17C for an example of a landscape typical.

2.17.5 Artificial Turf

Artificial Turf is permitted and will be reviewed on case by case basis. No more than 45% of the total landscaped area (the total Lot area excluding the house footprint, driveway, sidewalk and patio) of any Lot shall be artifical turf. Reference Figures 2.17C and Figure 2.17D for examples of landscape typicals.

2.17.6 Water Use

No landscape zone should be designed to require more than 22 inches of supplemental irrigation water in an average year (about 18 gallons/square foot during the growing season) which is the equivalent to what tall fescue grasses need to thrive in the region. Hydric (moisture-loving) plants should only be planted in depressions where they will naturally more moisture from the existing drainage pattern.

2.17.7 Backfill Zone

Plants and irrigation systems are prohibited from being installed in the 5' area surrounding the foundation of any house ("Backfill Zone").

2.17.8 Drainage

Landscape improvements shall not impact the approved drainage pattern for the Lot.

2.17.9 Gravel Mulch

A maximum of 20% of the total landscaped area of any Lot (the total Lot area excluding the house footprint, driveway, sidewalk and patio) shall be composed of gravel mulch devoid of plantings. Gravel color must be brown, tan or gray. Red, white and black gravel is specifically prohibited. Large expanses of gravel devoid of plantings in front or side corner yards is prohibited.



2.17.10 Wood Mulch

Wood mulch must be brown. Red wood mulch is specifically prohibited. Large expanses of wood mulch devoid of plantings in the front or side corner yard is prohibited.

2.17.11 Required Landscaping

A minimum of 80% of the total landscaped area of any Lot shall be composed of landscape plantings. For yards visible from a public street or common area the minimum requirement is one row of five (5) gallon shrubs planted on 3' centers located along the foundation excluding patios. Air-conditioning condenser units shall be screened from views from streets, trails and open space by minimum 5 gallon shrubs , 3' on center. Street trees with a minimum 2 ½" caliper are required in all yards fronting a public street (excludes alleys). Refer to Figures 2.17B and 2.17C for examples of rear yard landscape typicals. Minimum requirements for front, side and rear yard shade trees, evergreen trees and ornamental trees vary by lot size. Refer to Figure 2.17A for number, species and location of tree requirements.

Builders of single family attached townhomes shall submit an overall landscape plan for the lots and surrounding adjacent common areas to the DRC for review.

FIGURE 2	2.17A- Tree Planting	Requirements				
	Mi	inimum Number and Ty	pes of Trees			
Lot Size	Front Yard	Corner Side Yard (Adjacent to Street)				
45' to 49' Width	1 Deciduous Shade Tree	1 Deciduous Shade Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree		
50' to 59' Width	1 Deciduous Shade Tree	1 Deciduous Shade Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree		
60' to 69' Width	1 Deciduous Shade Tree And 1 Ornamental Tree	2 Deciduous Shade Trees	1 Deciduous Shade Tree Or 1 Evergreen Tree	2 Deciduous Shade Trees Or 2 Evergreen Trees		
			Or			
70' and Greater Width	2 Deciduous Shade Trees Or 1 Deciduous Shade Tree and 2 Ornamental Trees	2 Deciduous Shade Trees	1 Deciduous Shade Tree Or 1 Evergreen Tree	2 Deciduous Shade Trees Or 2 Evergreen Trees		
	Attached/Townhomes n for all lots and surroundin	g common areas shall be si	ıbmitted for each neighbo	rhood.		

2.17.12 Landscaping for Privacy

Open views throughout the neighborhood are encouraged. Planting a continuous opaque hedge or similar around the entire perimeter of the Lot is prohibited. Selected outdoor areas may be screened from neighboring views using deciduous or evergreen plantings.

2.17.13 Irrigation

Every Lot is required to install an automatic irrigation system prior to completion of landscape and planting. Use of drip systems are strongly encouraged. All spray head zones are required to have head-to-head coverage or closer. Overspray on sidewalks and adjacent property is prohibited. Controller devices must be located inside the garage unless specifically approved by the DRC.

2.17.14 Orientation for Landscaping

All owners are encouraged to attend a landscaping orientation at the High Plains Environmental Center at Centerra. This brief session will explain the landscape specifications for The LAKES at CENTERRA, providing the reasons for the specifications outlined in these Landscape Guidelines. Examples of turf grasses, shrubs, trees and other native vegetation will be available to assist with owners in their landscape plans.

2.17.15 Landscape Edges

Edges of residential parcels should blend with the adjacent parcel. Harsh lines or the edges of properties, such as abrupt changes in mulch type or plant material placed in an obvious line, should be avoided. Adjacent to open spaces areas the landscaping should be varied in height and density so as to avoid a hedge or total screen appearance. Instead, the landscape treatment should provide view openings between the private yards and the open space.

Concrete landscape edging is permitted. Concrete edging style must be the standard mower edge or slant style. Color must be grey. Stamped and/or colored concrete edging will be approved on a case by case basis.



2.17.16 Soil Amendment

Due to the clay-like consistency of the soils in Northern Colorado, it is recommended that compost or other organic matter be added to the soil, using a minimum of three (3) cubic yards per 1,000 square feet. Such soil amendment often aids in the establishment of all landscape material.

2.17.17 Front Range Appropriate Landscaping

Front Range appropriate landscaping is encouraged and consists of native plants which require little to no water. A minimum of 80% of total landscaped area of any Lot (the total Lot area excluding the house footprint, driveway, sidewalk and patio) shall be composed of landscape plantings or hardscape materials (i.e. boulders, pavers, retaining walls, etc.). Plant selections must comply with Centerra Plant List and must support visual interest year round. Reference Figure 2.17C for an example of a Front Range appropriate landscape typical which requires little to no water.

Submittal Requirements:

Residents who desire to install this style of landscaping in their front yard are required to submit a detailed landscape drawing to the DRC prior to installing the landscaping.







FIGURE 2.17B Example of Total Landscaped Area (TLA)

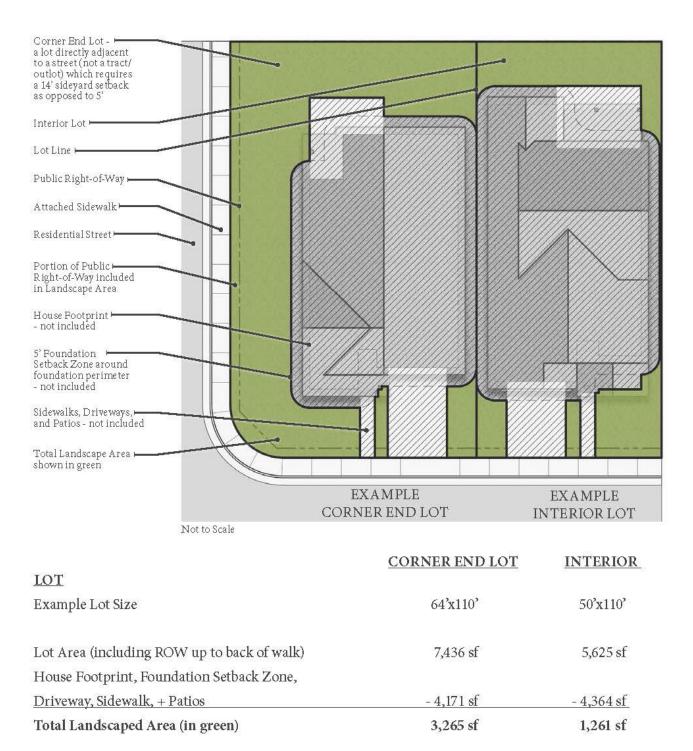


FIGURE 2.17C Example of Standard Landscape Typical



Note: This example plan is diagrammatic in nature and does not reflect unique lot conditions or account for all design solutions.



FIGURE 2.17D Example of Front Range Appropriate Landscape Typical (Requires Little to No Water)



Note: This example plan is diagrammatic in nature and does not reflect unique lot conditions or account for all design solutions.



The following plant list has been established and approved by the Centerra Design Review Committee (DRC) for the Centerra Master Planned Community. Any substitutions or variances from the following list must be submitted to the DRC for review and approval.

SHRUBS

Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

* A Native Plant is defined as those native to the Rocky Mountain Inter-Mountain Region. **A Pollinator is defined as those that provide food and/or reproductive resources for pollinating animals, such as honeybees, native bees, butterflies, moths, beetles, flies and hummingbirds.

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Abronia fragrans	Snowball Sand Verbena	White	6-7	4-24"	4-24"	**	• •	R, P
Agave americana	Century Plant	Greenish Yellow	Late Spring, Early Summer	6'-12'	6-10'	***	⊘→♦	May not be
Alnus incana ssp. tenuifolia	Thinleaf Alder	Purple	Early Spring	15-40'	15-40'	***	• • •	Host plant, catkins three
Amelanchier alnifolia	Saskatoon Serviceberry	White	Mid Spring	4'-15'	6'-8'	* →***	• •	
Amelanchier canadensis	Shadblow Serviceberry	White	Mid Spring	25'-30'	15'-20'	`*`** *	• •	High habit
Amelanchier utahensis	Utah Serviceberry	White	Mid Spring, Late Spring	12'	12'	***	۵	High habit
Amorpha canescens	Lead Plant	Blue, Purple	Late Spring, Early Summer	3'-6'	6	*****	٢	Possible rep
Arctostaphylos uva-ursi	Kinnikinnick	Insignificant	Mid Spring, Late Spring, Early Summer	6"-12"	15'	``*`*`*	۵	R, U Prefers the
Aronia arbutifolia	Red Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	````````````````````````````````````	• •	X A
Aronia melanocarpa	Black Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	`*`***		A A
Artemisia cana	Silver Sagebrush	Insignificant	Summer, Early Fall	1'-3'	3'	***	⊘→	Silver foliag

Notes
C ot be reliably hardy, requires sandy/gritty soil
ant, Spreads - more appropriate for parks, More tree-like; through winter
A A
abitat value for pollinators and birds; Protect from wind
A abitat value for pollinators and birds
A e replacement for Russian Sage; host plant
., UC the winter shade of pines; Requires excellent drainage
D _A
oliage; Drought tolerant; Water sparingly the 1 st year, and move irrigation.

CENTERRA APPROVED PLANT LIST

SHRUBS	(Continued)
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LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator **	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Artemisia filifolia	Sand Sagebrush	Insignificant	Late Summer, Early Fall, Mid Fall, Late Fall, Early Winter	5'	3'	***	⊘→	Silver folia
Artemisia tridentata	Big Sagebrush	Insignificant	Early Summer	6'-12'	6'-8'	***	⊘→♦	Silver foli irrigation.
Atriplex canescens	Four-winged Saltbush	Insignificant	Early Spring-Late Fall	6'-12'	3-6'	**	⊘→	Interestin remove in
Buddleja davidii	Butterfly Bush	Insignificant	Early Summer – Early Fall	6'-12'	4'-15'	***	• •	A; Must b
Caryopteris x clandonensis 'blue mist'	Blue Mist Spirea	Powder Blue	Late Summer - Mid Fall	2'-3'	2'-3'	***	• •	A; Honey in spring
Cercocarpus intricatus	Littleleaf Mountain Mahogany	Insignificant	Early Spring, Mid Spring, Late Winter	6'	5'	````````````````````````````````````	⊘→♦	Bark and shelter; or
Cercocarpus montanus	Mountain Mahogany	Yellow Green	Early Summer	8'	6'	****	⊘→♦	A Open hab
Cercocarpus ledifolius	Curl-leaf Mountain Mahogany	Insignificant	Early-Mid Spring	10'-25'	10'-20'	***	⊘→♦	A Open hab
Chaenomeles japonica	Japanese Quince	Red	Mid Spring	3'	6'	****	• •	Flowers a
Chamaebatiaria millefolium	Fernbush	White	Mid-Summer, Late Summer	5'	6'	***	⊘→	Especially landscape
Chrysothamnus nauseosus	Rubber Rabbitbrush	Yellow	Late Summer	4-6'	4-6'	***	⊘→♦	Syn. Erica
Chrysothamnus nauseosus ssp. nauseosus	Dwarf Blue Rabbitbrush	Yellow	Fall	4'	4'	***	⊘→♦	Syn. Erica
Chrysothamnus viscidiflorus	Yellow Rabbitbrush	Yellow	Late Summer, Early Fall, Mid Fall	5'	5'	***	⊘→♦	Syn. Erica
Cornus alba	Tatarian Dogwood	Yellow Green	Late Spring, Early Summer	8'	6'	*-***	• •	A 📢
Cornus alternifolia	Alternate leaf Dogwood	Cream	Late Spring, Early Summer	25'	20'	*****	• •	A N
Cornus racemosa	Grey Dogwood	White	Late Spring, Early Summer	15'	15'	****	• •	A 🐝

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

Notes

iage; Water sparingly the 1st year, and then remove irrigation.

D_A

oliage; Water sparingly the 1st year, and then remove on.

DA

ting seed pods; Water sparingly the 1st year, and then e irrigation.

t be deadheaded to maintain looks; cut back in winter

eybee forage; will re-seed in irrigated areas; Often cut back

d seeds provide nice texture; semi-evergreen provides open habit

abit; Appealing, curly seeds

abit; Appealing seeds

appear before foliage.

🕈 🔘 UC, I, P

lly attractive to bumblebees; Suitable for conventional oes; Semi-evergreen

A *cameria*; extremely high habitat value

A *cameria*; extremely high habitat value

A *cameria*; extremely high habitat value



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes		
SHRUBS						1 1				
Cornus sericea	Redosier / Red Twig Dogwood	White	Spring to Summer	6-8'	6-8'	****		Red stems provide winter interest		
Corylopsis glabrescens	Winterhazel	Light Yellow	Early Spring	15'	8'	***	• •	UC, R		
Corylus americana	American Hazelnut	Tan	Early Spring, Mid Spring	15'	13'	***		UC, R		
Cotoneaster adpressus	Creeping Cotoneaster	White	Late Spring, Early Summer	2'	6'	***	•	A; Red berries		
Cotoneaster apiculatus	Cranberry Cotoneaster	Light Pink	Late Spring, Early Summer	2'	6'	***	۵	A; Stiff arching branches, red berries		
Cotoneaster dammeri	Bearberry Cotoneaster	White	Late Spring	2'	6'	***	٠.	A; Red berries		
Cotoneaster hessei	Cotoneaster	Light Red	Late Spring	18"	5'	***	٠.	A; Red berries		
Cotoneaster multiflorus	Many-flowered Cotoneaster	White	Early Summer, Mid-Summer	12"	4'	***	۵	A; Red berries		
Crataegus erythropoda	Shiny-leaved Hawthorn	White	Spring	10-20'	8-15'	****	۵.			
Crataegus phaenopyrum	Washington Hawthorn	White	Early Summer	20'-25'	20'	***	۵.	X A		
Ephedra americana	Jointfir	Light Yellow	Late Spring, Early Summer	4'	3'	***	⊘→♦	A; Semi-evergreen		
Ephedra viridis	Mormon Tea	Insignificant	Early Spring	4'-6'	4'-6'	***	۵			
Euonymus alatus	Burning Bush	Insignificant	Late Spring	15'-20'	8'-12'	***	• •	U; Bright red foliage		
Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus	Insignificant	Mid-Summer	4'-5'	5'-6'	*		L Evergreen; Spreading habit broadleaf for full shade		
Fallugia paradoxa	Apache Plume	White	Late Spring – Early Winter	3'-5'	3'-5'	**	۲	A Appealing seed heads; Flowers attract honeybees and native bees		
Forestiera neomexicana	New Mexico Privet	Insignificant	Mid Spring – Late Spring	8'-12'	6'-8'	***	۵			
Juniperus horizontalis	Creeping Juniper	N/A	N/A	18"	8'	***	•	A; Evergreen		
Juniperous x media 'pfitzeriana compacta'	Compact Pfitzer Juniper	N/A	N/A	18"	5'	***	•	A; Evergreen; Blue green foliage, irregularly round habit		
Juniperus x media 'sea green'	Seagreen Juniper	N/A	N/A	5'-6'	6'-8'	***	∅ → ♦	A; Evergreen		
Juniperus sabina	Juniper	N/A	N/A	4'-6'	5'-10'	***	• •	A; Evergreen		
Juniperus squamata	Singleseed Juniper	N/A	N/A	16'	3'	*****	۵	R Evergreen; Use in protected areas		
Ligustrum vulgare	European Privet	White	Early Summer, Mid-Summer	3'	4'	***	•	UC; Use for hedge applications only; Low habitat value		
Malus sargentii	Sargent Crabapple	White	Mid Spring, Late Spring	8'	15'	****	• •	A Benefits birds		
Mahonia aquifolium	Compact Oregon Grape Holly	Yellow	Spring	6'	6'	````````````````````````````````````	٢	Early blooms for pollinators, berries for birds; Foliage interest		

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
ure)	I = Industrial
	P = Parks
	A = All districts/areas (excluding natural areas)

CENTERRA APPROVED PLANT LIST

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**		A = All districts/areas (excluding natural areas)

SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Mahonia repens	Creeping Grape Holly	Yellow	Late Spring, Early Summer	1'-2'	3'	**	• •	Early bloo
Perovskia atriplicifolia	Russian Sage	Lavender	Late Summer, Fall	3'-5'	2'-4'	***	⊘→♦	Consider s
Philadelphus coronarius	Mock Orange	White	Late Spring, Early Summer	10'	10'	***	• •	P; F:
Philadelphus lewisii	Mock Orange	White	Late Spring, Early Summer	7'	6'	***	٠	Preferred s
Philadelphus microphyllus	Little-leaf Mockorange	White	Late Spring, Early Summer	4'-6'	4'-6'	````````````````````````````````````	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	
Physocarpus monogynus	Physocarpus monogynus Mountain Ninebark		Spring	4'	4'	***	٢	
Physocarpus opulifolius	Ninebark	Light Pink, White	Late Noring Harly Nummer		4'	***	۵	
Physocarpus opulifolius 'nanus'	Dwarf Ninebark	White	Late Spring, Early Summer	1'-2'	2'-3'	****	▲ →	*
Picea pungens 'Thume'	Colorado Blue Spruce	N/A	N/A	8'	4'	***	۵	A; Evergre
Pinus sylvestris 'Repens'	Creeping Scot's Pine	N/A	N/A	50"	30"	****	۵	A; Evergre
Potentilla fruticosa	Potentilla	Yellow	Summer	2'-3'	2'-3'	***	۵	A; Ai
Prunus besseyi	Western Sand Cherry	White	Spring	3'	6'	***	⊘→♦	Attractive
Prunus maackii	Amur Chokecherry	White	Late Spring	20'-30'	18'-25'	*****	• •	Golden, ez
Prunus virginiana melanocarpa	Western Chokecherry	White	Spring	20'	12'	*****	۵	Attractive wide range
Purshia mexicana	Mexican Cliffrose	Light Yellow	Mid Spring, Late Spring, Early Summer	6'	4'	***	⊘→	*** (3)
Purshia tridentata	Antelope Bitterbrush	Yellow	Late Spring, Early Summer	8"	8"	***	• •	Scrubland
Pyracantha angustifolia 'gnome'	Gnome Firethorn	White	Late Spring	4'-6'	4'-8'	*****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	I, P; Large
Quercus gambelii	Gambel Oak	Insignificant		8'-20'	6'-12'	***	۵	Host plan
Rhamnus smithii	Smith's Buckthorn	Yellow Green	Late Spring, Early Summer	10'	10'	***	•	P, R, I

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

Notes

🌾 🛕 A

ooms for pollinators, berries for birds; Foliage interest

er subbing with a native species (i.e. leadplant); honeybee forage

Fragrant

A; Fragrant d species of mock orange

A; Fragrant

Й А

A 🎝

Α

green; Any cultivars are appropriate

green; Any cultivars are appropriate

; Any cultivators are appropriate

ve and reliable for many sites; great native bee plant

exfoliating bark

Г Р

ve and reliable for many sites; high habitat value for birds and nge of pollinators; Can spread like crazy

D_{P, R}

P, R

nd shrub; Plant in well drained area

rge, persistent orange berries; Wicked thorns

P N

ant; Plant on gravel berm; Must have excellent drainage



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moisture)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Rhus aromatica 'gro-low'	Grow Low Sumac	Insignificant	Late Spring	1'-2'	6'-8'	****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Brilliant fa
Rhus glabra	Smooth Sumac	Insignificant	Early Summer	9'-15'	9'-15'	````````````````````````````````````	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Brilliant fa
Rhus trilobata	Three-leaf Sumac	Insignificant	Mid Spring, Late Spring	6'	6'	***	⊘ → ♦	High habi
Ribes alpinum	Alpine Currant	Yellow Green	Mid Spring	6'	6'	****	•	A V
Ribes americanum	American Black Currant	Yellow	Spring	2-4'	2-4'	****	• •	P, R
Ribes aureum	Golden Currant	Yellow Orange	Mid Spring, Late Spring	3'-7'	2'-6'	**`**	• •	High habi
Ribes cereum	Wax Currant	Light Pink	Mid Spring	4'	4'	***	۲	
Ribes odoratum 'Crandall'	Clove Currant	Yellow	Mid Spring	5'	10'	*****	٠	Great fall
Rosa glauca	Redleaf Rose	Pink	Late Spring, Early Summer	8'	5'	***	•	Red-purpl
Rosa	Floribunda Rose Light Pink Mid-Summer, Late Sum		Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	7'	7'	***	• •	P, R; Low
Rosa 'Nearly Wild'	Floribunda Rose	Pink	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	4'	***	• •	P, R; Low
Salix irrorata	Bluestem Willow	Insignificant	Spring	12'	8'	***	• •	P, R, Stree
Salix purpurea 'nana'	Dwarf Artic Willow	Insignificant	Spring	3'-5'	3'-5'	***	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	P, R, Stree
Sambucus ebulus	Dwarf Elderberry	White	Mid-Summer, Late Summer	4'	4'	***	♦ ♦	May be ra
Shepherdia argentea	Buffaloberry	Yellow	Early Spring	8'-12'	8'-12'	````````````````````````````````````	⊘→●	Edible fru
Sibiraea laevigata	Siberian Spirea	White	Early Summer	5'	8'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	P, R, Stre
Spiraea fritschiana	Korean Spirea	White	Early Summer, Mid-Summer	3'	4'	***	۵.	UC, P, St

	Abbreviations for Recommended District/Area:
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ure)	P = Parks
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Notes

fall foliage

fall foliage

A abitat value, especially for native bees; Use in masses; Brilliant

R

P

abitat value, esp. for migrating hummingbirds and bumblebee ; Will sucker; Red autumn foliage is amazing

A N

P, R all color; Good for birds

R. UC

rple foliage provides nice contrast

ow habitat value for pollinators; Provides habitat for birds

ow habitat value for pollinators; Provides habitat for birds

reetscape

reetscape

e rangy in small yards; Bird plant

Ж 🕲 _{Р, І}

fruit; Silver foliage; Provides habitat for birds

treetscape

Streetscape



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistur
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
SHRUBS			1					
Spiraea japonica	Japanese Spiraea	Pink	Late Spring, Early Summer, Mid-Summer	3'	3'	* ****		UC, P, Streetscape
Spiraea myrtilloides	Myrtle Spirea	White	Early Summer, Mid- Summer	8'	4'	`**`* *	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	UC, P, Streetscape
Spiraea prunifolia	Bridal Wreath Spirea	White	Mid Spring, Late Spring	8'	8'	* ****		UC, P, Streetscape; Invasive in eastern U.S.
Spiraea trilobata	Three-lobed Spirea	White	Late Spring, Early Summer	4'	4'	****		UC, P, Streetscape
Symphoricarpos occidentalis	Snowberry	White	Mid-Summer	3'-6'	3'-6'	**** *		Great plant for birds
Symphoricarpos orbiculatus	Red Coralberry	White, Green	Mid Spring, Early Summer	3'-6'	3'-6'	``* -→` * `*	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A
Syringa meyeri 'palibin'	Dwarf Korean lilac	Pale pink	Mid Spring, Late Spring	4-5'	5-7'	***	۵.	A; Fragrant
Syringa vulgaris	Common Lilac	Purple - White	Late Spring	20'	12'	***	۵	Susceptible to powdery mildew; Fragrant
Viburnum carlesii	Koreanspice Viburnum	White	Early Spring, Mid Spring	5'	6'	***	۵.	A; Fragrant
Viburnum dentatum	Southern Arrowwood	White	Late Spring, Early Summer	8'	8'	* →***	۵.	P, UC; Uniform branching habit
Viburnum lantana	Wayfaringtree	White	Late Spring	10'	8'	* →* * *	۵	P, UC, I
Viburnum lentago	Nannyberry	White	Late Spring	15'	8'	***	٢	P, UC, I; Upright arching branches
Viburnum trilobum 'Compactum'	American Cranberrybush	White	Mid Spring	5'	5'	***		P, UC, R; Fruit bearing
Viburnum x burkwoodii	Burkwood Viburnum	White	Mid Spring	8'	8'	* -→ * *	۵.	P, UC, R
Yucca glauca	Soap Weed	White	Summer	2-3'	2-3'	***	⊘→	

	Abbreviations for Recommended District/Area:
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PERENNIALS & GRASSES

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
-	•	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
V Pollingtor**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
Pollinator**		

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS						•		
Achillea lanulosa	Woolly Yarrow	White	Summer	18"	18"	***	۵	A; Forage for wide range of small pollinators
Achillea millefolium	Common Yarrow	White	Early Summer, Mid- Summer, Late Summer, Early Fall	2'	3'	***	٢	A; Can be aggressive; Any cultivar is okay
Adenolinum (linum) lewisii	Blue Flax	Blue	Summer	12"	12"	***	۵	Short-lived, but re-seeds; gives a "wild" or "natural" effect
Agastache cana	Double Bubblemint	Pink	Summer-Fall	3'	2'	***	۵	A; High habitat value for long-tongued pollinators
Agastache foeniculum	Anise Hyssop	Blue	Summer-Fall	3'	2'	***	۵	A; Especially attractive to bumble bees
Agastache rupestris	Sunset Hyssop	Orange	Late Summer, Fall	1'-2'	1'-1.5'	** *	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A; High habitat value for long-tongued pollinators
Aguilegia caerulea	Rocky Mountain Columbine	Blue, White	Mid to Late Spring	1'-2'	1'-2'	****	• •	A; Colorado State flower
Ajuga reptans 'Mahogany'	Bugleweed	Blue	Late Spring, Early Summer	6"	6"	*	• •	₩ R; Ground cover; Spreads aggressively
Alchemilla mollis	Lady's Mantle	Yellow Green	Early Summer	2'	2'	*	۵.	A; Tidy and attractive in the right setting
Amsonia jonesii	Jones' Bluestar	Light blue	Mid Spring, Late Spring, Early Summer	2'	2'	***	۵	
Anthemis marschalliana	Filigree Daisy	Yellow	Late Spring, Early Summer, Mid-Summer	4"	12"	***	• •	R; Tidy border plant; Prefer Engelmann Daisy
Aquilegia chrysantha	Golden Columbine	Yellow	Late spring	3'	2'	****	۵	A; Long blooming
Armeria maritima	Sea Thrift	Pink	Mid Spring, Late Spring, Early Summer	12"	12"	***	• •	P, R; Tidy border plant
Artemisia frigida	Fringed Sagebrush	Yellow	Summer	2'	2'	***	⊘→	A; Silver foliage
Artemisia ludoviciana	Prairie Sage	Yellow	Summer	40"	36"	***	⊘→♦	A Silver foliage; Can spread to become groundcover
Artemisia schmidtiana	Wormwood	White	Early Summer	18"	24"	***	•	A
Artemisia versicolor 'seafoam'	Seafoam Artemisia	Yellow	Mid-Summer	6"-12"	18"-24"	***	۵	A; Low water; Grey foliage
Asclepias incamata	Swamp Milkweed	White/Pink	Summer	36-72"	24"	***	• •	A; Superior milkweed choice for landscaping; Monarch host; High habitat value
Asclepias tuberosa	Butterfly Weed	Orange	Summer	12"	12"	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	R, P, Streetscape; Monarch host; High habitat value
Aster alpinus 'Goliath'	Goliath Alpine Aster	Light Blue	Mid Spring, Late Spring, Early Summer	12"	18"	****	۵	A; High habitat value for pollinators and birds

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moisture
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS				-				
Aster ascendens	Western Aster	Light Purple	Late Spring, Early Summer, Mid-Summer	24"	24"	***	۵	Syn. Symp birds; Goo
Aster ericoides	Many-flowered Aster	White	Late Summer	18-24"	24"	***		
Aster falcatus	Rough White Aster	White	Late Summer	24-48"	24"	***		
Aster hesperius	Western Aster; Violet Aster	Pink	Late Summer	36-60"	20"	***		
Aster x frikartii 'monch'	Monch Aster	Lavender	Late Summer, Fall	2'-3'	1'-1.5'	****	• •	N A; H
Aster porteri	Porter's Aster	White	Late Summer	18-24"	24"	***	٢	
Aubrieta deltoidea	Purple Rockcress	Purple	Mid Spring, Late Spring, Early Summer	6"	12"	***	۵	R , P
Baptisia australis	Blue Wild Indigo	Blue	Late Spring, Early Summer	4'	3'	** *	۵	Attractive
Bergenia cordifolia	Heartleaf Bergenia	Pink	Late Spring	1'-1.5'	1'-1.5'	***		A; Large ev
Berlandiera lyrata	Chocolate Flower	Yellow	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	24"	18"	***	۵	**
Callirhoe involucrata	Poppy Mallow	Red violet	Summer	6"	18"	***	۵	Easy care;
Calylophus serrulata	Calyophus	Yellow	5-9	8-12"	15"	****	۵	
Campanula cochlearifolia	Earleaf Bellflower	Violet	Late Spring, Early Summer, Mid-Summer	6"	12"	***	• •	А
Campanula persicifolia	Willow Bell	Blue	Early Summer, Mid- Summer	3'	18"	***	• •	А
Campanula rotundifolia	Bluebell Bellflower	Light Blue	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	8"	**	۵	* A
Centranthus ruber	Red Valerian	Pink	Late Spring	3'	2'	***	۵	Indestruct
Cerastium tomentosum	Snow-in-Summer	White	Early Summer	.5'-1'	.75'-1'	***	⊘ → ♦	Mr Agg

	Abbreviations for Recommended District/Area: UC = Urban Core
ure)	R = Residential I = Industrial P = Parks A = All districts/areas (excluding natural areas)

Notes

Anphyotrichum ascendens; High habitat value for pollinators and ood for buffers

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

Р

ve to bumblebees; Long lived; Shrub like perennial

evergreen leaves

🕈 A; Fragrant

A e; Host for fritillary butterflies; Spreading plant

A

Streetscape

ctible, benefits from timely deadheading

ggressive; Silver foliage

PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
	9	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
* *	~	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS								
Ceratostigma plumbaginoides	Plumbago	Blue	Mid-Summer, Late Summer, Early Fall	12"	24"	*→** *	۵	P , R,
Clematis	Clematis	White - Purple	Early Summer, Late Summer, Mid-Summer	6'	Vine	***		R; Will nee
Convallaria majalis	Lily of the Valley	White	Early Spring	12"	15"		• •	R; Underst
Coreopsis verticillata	Coreopsis	Yellow	Summer	1.5'-2'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A 🏹
Crambe maritima			Late Spring, Early Summer	6'	4'	***	• •	P; Use as co
Dalea purpurea	Purple Prairie Clover	Rose, Purple	Summer	1'-3'	1'-1.5'	***	• •	
Delosperma cooperi	Hardy Ice Plant	Red purple	Summer, Early Fall	.25'5'	1'-2'	***	Ø -> 🌢	A; Se
Dianthus 'Bath's Pink'	Cheddar Pink	Pink	Late Spring	10"	10"	***	• •	• P, R,
Digitalis lanata	Grecian Foxglove	Cream	Early Summer, Mid- Summer	24"	18"	★★→★★ ★		A
Digitalis obscura	Sunset Foxglove	Yellow	Late Spring Early Summer	24"	20"	****		A; Pr
Echinacea purpurea	Eastern Purple Coneflower	Light Purple	Early Summer, Mid- Summer, Late Summer			***		P, R High habit
Echinacea tennesseensis	Small Tennessee Purple Coneflower	Purple	Early Summer, Mid- Summer, Late Summer	30"	24"	***	۵	X A; Hi
Engelmannia peristenia	Englemann Daisy	Yellow	Late Spring Early Summer	24"	30"	***	۵	Plant Select
Erigeron speciosus	Aspen Daisy	Lavender	Summer	24"	24"	***	۵	A; M
Eriogonum umbellatum	Sulfur Flower	Yellow	7-8	6-18"	24"	***	٢	P, R,
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	White	Mid Spring	.5'75'	1'-3'	★★→★★ ★		A; Eve
Gaillardia aristata Blanket Flower		Red/ Yellow	Summer, Fall	24"	24"	***	۵	Long bloor
Galium odoratum	Sweet Woodruff	White	Mid to Late Spring	.5'-1'	.75'-1.5'	★ ★→★★	$\blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Aggressi
Gaura lindheimeri	Beeblossom	White/Pink	Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	3'	2'	**'** *	۵	P , R,
Geranium cultivars		Pale Pink - Violet	Summer	2'	2'	*→***		A P, R,
Glandularia wrightii		Pink	Early Summer	3"	6"	***	•	🐺 A; Lik

Notes

R, Streetscape; Late blooming perennial

need support

erstory plant; Fragrant

s contrast foliage; Huge plant

A

Semi-evergreen

R, UC; Semi-evergreen

Preferred foxglove selection – Plant Select

bitat value: Low maintenance; A favorite of rabbits

High habitat value; Low maintenance; A favorite of rabbits

lect; Preferred over Anthemis

May spread aggressively

R, UC; Semi-evergreen; Persistent seed heads

Evergreen

A

ooming period, especially when deadheaded; Tolerates heat essive spreader

R, UC; Excellent long blooming perennial

R, UC

Likes sandy soil



LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
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* Native*	A Maintana Dating (Lang Maintana Hish Maintana)	I = Industrial
	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
	('I')	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS								
Gutierrezia sarothrae	Snakeweed	Yellow	Late Summer, Early Fall, Mid Fall	3'	3'	**	⊘→♦	
Helianthemum grandiflorum ssp. grandiflorum	Rockrose	Yellow	Late Spring, Early Summer	12"	24"	***	۵	₩ P, R;
Helianthus annuus	Annual Sunflower	Yellow	Summer	10'	3'	***	۵	should be a maintenance
Helianthus maximiliani	Maximilian sunflower	Yellow	Early Fall	3'-10'	2'-4'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	
Hemerocallis ssp.	Daylily	Varies	Summer	1'-3'	1'-3'	★★→★★ ★	۵	for tough lo
Hesperaloe parviflora	Red Yucca	Pink	Summer	3'	3'	***	⊘→●	High habita
Heuchera pulchella	Sandia Mountain Coral Bells	Pink	Late Spring, Early Summer	6"	12"	****	۵	P, R, UC;
Heuchera sanguinea	Coral Bells	Pink, Red	Late Spring, Early Summer	1'-1.5'	.75'-1'	★★→★★ ★		P, R, UC; 1
Hosta sagae	Hosta	Light Purple	Mid-Summer, Late Summer	3'	3'	*		A; Workho
Hyssopus officinalis	Common Hyssop	Violet	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	10"	***	۵	X A; Ag
Iris x germanica	Bearded Iris	Blue-Purple	Late Spring	2'-3'	1'-2'	***	۵ ۵	А
Iris missouriensis	Blue flag Iris	Blue-Purple	Spring	24"		***	▲ ▲	A; Early blo
Kniphofia caulescens	Torch Lily	Coral Red, Yellow	Mid-Summer	2'-4'	1'-2'	***	• •	X A
Kniphofia uvaria	Red Hot Poker	Red	Late Spring, Early Summer	24"	24"	***	۵	P , R,
Lavandula angustifolia	English Lavender	Purple	Late Spring, Early Summer, Mid-Summer	18"	18"	***	٠	R, UC Fragrant; S winter
Leucojum aestivum	Summer Snowflake	White	Early Spring, Mid Spring, Late Spring, Late Winter	2'	1'	**		R, P; Bulbs
Liatris ligulistylus		Magenta	Mid-Summer, Late Summer	2'	1'	***		***
<i>Liatris punctata</i> Dotted Gayfeather		Pink, Purple	Late Summer, Fall	1-3'	1-3'	***	• •	wildflower
Liatris pycnostachya	Prairie Blazing Star	Light Purple	Mid-Summer, Late Summer	5'	18"	***		A; Su

Notes

A; Shrub like

R; Attractive all season long

; High habitat value; even if not included in design, there e allowance to keep them in the landscape; included in ince guidelines; will re-seed

A

UC, Streetscapes; Low habitat value – restrained use, but great locations

DA

bitat value for pollinators, esp. hummingbirds; Habit provides

C; Best used in sheltered contexts, understory

C; Best used in sheltered contexts, understory

horse in shady sites; Low habitat value

Agastache spp. are preferred

bloom - nectar and pollen for bees; aquatic shelter

R, UC; Favorite of hummingbirds, but can be finicky

JC, Streetscape

Superb honeybee forage; May rot out in heavy soils over

lbs in spring

A; Superb plant for butterfly habitats

A; Superb plant for butterfly habitats; Also good for er seeding in natural areas

Superb plant for butterfly habitats



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS				-				
Liatris spicata	Prairie Gayfeather	Magenta	Mid-Summer, Late Summer	24"	24"	***	۲	💓 A; Pla
Linum perenne	Perennial Flax	Light Blue	Early Summer	24"	24"	***	۵	A; Als
Lonicera spp.	Vining Honeysuckles		Early Summer, Mid- Summer, Late Summer	Vine	Vine	***	۵	A 😻
Lupinus argenteus	Silvery Lupine	Purple	Summer	2'	2'	***	۵	Availability great forage
Lupinus neomexicanus	New Mexico Lupine	Light Blue	Late Spring, Early Summer	24"	24"	***	۵	A; Ava
Lychnis chalcedonica	Maltesecross	Red	Late Spring, Early Summer, Mid-Summer	4'	18"	***		R; Silv
Lysimachia nummularia	Creeping Jenny	Yellow	Late Spring, Early Summer	4"	18"	***	٠.	😻 R; Ma
Machaeranthera bigelovii	Sante Fe Aster	Blue	Fall	1'-3'	1'-2'	***	۵	A; Wi
Mirabilis multiflora	Four O'Clock	Red-violet	Summer	3'	4'	***	⊘→	Attractive n hummingb
Monarda fistulosa	Wild Bergamot	Pink	Summer	36"	24"	***	٠	High habita
Oenethera caespitosa	White Stemless Evening Primrose	White	Early Summer, Mid- Summer, Late Summer	12"	18"	***	⊘→♦	
Oenothera macrocarpa	Evening Primrose	Yellow	Summer	12"	24"	***	Ø → ♦	P, R
Opuntia basilarus	Beavertail Cactus	Red, Pink, Purple	Late Winter, Spring, Early Summer	1'-3'	2'-3'	***	•	
Origanum libanoticum	Hopflower Oregano	Lavender	Late Summer, Early Fall	18"	24"	**	۵.	A; At
Paeonia suffruticosa	Mountain Peony	White	Mid Spring, Late Spring	5'	5'	***	۸ ۸	P , R:
Paxistima canbyi	Canby's Mountain Lover	White	Mid Spring	12"	12"	*	• •	A; Pl
Penstemon albidus	White Penstemon	White	Mid Spring, Late Spring, Early Summer	12-16"	12"	***	۲	
Penstemon angustiflius	Narrow-leaved Penstemon	White	Mid Spring, Late Spring, Early Summer	12-24"	12"	***	⊘ → ♦	
Penstemon barbatus	Scarlet Bugler	Red	Summer	36"	18"	***	۵	*

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

Notes

Plant for butterfly habitats; Least preferred Liatris

Also see Adenolinum (linum) lewisii

lity will be an issue, great once established; Host for blues and age for larger bees

Availability will be an issue

Silver Foliage

May spread aggressively

Will self-seed, short lived

e mounding habit; Attractive to hawk moths and gbirds; Requires excellent drainage

A

bitat value when in bloom for bumblebees, hummingbirds and es; Very hardy

A

, R, Streetscapes; Often called O. missouriensis

Attractive habit even after bloom has stopped

R: Tree peonies are high maintenance

Plant Select

A; High habitat value for pollinators

A; High habitat value for pollinators

A; High habitat value for pollinators



LEGEND Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
•		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
* Native*	Moisture Rating (Low Moisture – High Moisture)	I = Industrial P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS						1		
Penstemon eatonii	Firecracker Beardtongue	Red	Early Summer	24"	18"	***	٢	* * A;
Penstemon grandiflorus	nstemon grandiflorus Large Beardtongue		Summer	36"	12"	***	۵	* * A;
Penstemon linariodes v coloradoensis	Blue-mat Penstemon	Blue	Late Spring, Early Summer	.5'-1'	.5'-1'	***	•	A A
Penstemon x mexicalli 'Pike's Peak'	Pike's Peak Penstemon	Purple	Early Summer, Mid- Summer, Late Summer	1'-1.5'	.5'-1'	***	۵	A A
Penstemon x mexicalli 'Red Rocks'	Red Rocks Penstemon	Pink	Early Summer, Mid- Summer, Late Summer	1'-1.5'	.5'-1'	***	۵	X A
Penstemon pinifolius	Pine-leaf Beardtongue	Magenta	Summer	8"	15"	***	٢	* A;
Penstemon pseudospectabilis	Desert Beardtongue	Magenta	Late Spring, Early Summer, Mid-Summer, Late Summer	32"	24"	***	۵	* * * A;
Penstemon secundiflorus	One-sided Penstemon	Pink/ Purple	Summer	24"	24"	***	۵	* * A;
Penstemon strictus	Beardtongue, Rocky Mountain Penstemon	Purple	Late spring	24"	24"	**	۵	* * A;
Penstemon virens	Greenleaf Penstemon	Blue-Purple	Summer	12"	12"	***	⊘→♦	* * A;
Penstemon virgatus	Tall One-Sided Penstemon	Pink	Early Summer	12"	18"	**	⊘→●	* A;
Phlomis cashmeriana	Cashmere Sage	Light Pink	Early Summer	3'	2'	** *	۵	P, R; N
Phlomis russeliana	Jerusalem Sage	Light Yellow	Late Spring, Early Summer, Mid-Summer	3'	2'	***	۵	P , R
Phlox carolina	Thickleaf Phlox	Pink	Mid-Summer, Late Summer, Early Fall, Mid Fall	36"	30"	***	• •	A A
Phlox divaricata	Wild Blue Phlox	Light Pink, Light Blue	Mid Spring, Late Spring	18"	40"	★★→★★ ★		A A
Phlox maculata	Wild Sweetwilliam	Magenta	Late Summer, Early Fall, Mid Fall	18"	2'	***	۸ ۸	A A
Phlox subulata	Moss Phlox	Magenta, Violet	Mid Spring, Late Spring, Early Summer	6"	18"	**		A N
Polemonium caeruleum	Jacob's Ladder	Yellow	Mid Spring, Late Spring	24"	18"	*	۵.	A

Notes
A; High habitat value for pollinators
A; High habitat value for pollinators
A; High habitat value for pollinators
R; Nice texture; Moderate habitat value
R

PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	A Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS	·							
Primula denticulata	Primrose	Pink, Blue, Purple, White	Early Spring, Mid Spring	6"	12"	*	• •	A A
Pycnanthemum virginianum	Virginia Mountainmint	White	Mid-Summer, Late Summer	24"	36"	***	• •	₩ , P , R
Ratibida columnifera	Prairie Coneflower	Yellow	Summer	18"	12"	***	⊘→	A; Very tough plant
Ratibida pinnata	Pinnate Prairie Coneflower	Yellow	Early Summer, Mid- Summer, Late Summer, Early Fall	5'	18"	***	⊘ → ♦	N A A
Rudbeckia hirta	Blackeyed Susan	Gold	Summer	3'	1'	***	٠.	P, R, UC, Streetscapes
Rudbeckia maxima	Great Coneflower	Yellow	Early Summer, Mid- Summer	7'	18"	***	۵	P P
Rudbeckia triloba	Brown-Eyed Susan	Yellow	Mid-Summer, Late Summer, Early Fall, Mid Fall	3'	3'	***	• •	Y P, R, UC, Streetscapes
Salvia azurea var. grandiflora	Pitcher Sage	Blue	Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	3'	***	۵	Hot/ late season forage for many bees, butterflies, hummingbirds
Salvia daghestanica	Dwarf Silver-leaf Sage	Blue	Late Spring, Early Summer	12"	12"	***	۵	R, UC; Texture on silver foliage
Salvia greggii 'Farman's Red'	Salvia 'Furman's Red'	Red	Spring, Summer, Fall	2'-3'	2'-3'	***		A; Loves hot weather
Salvia nemerosa 'may night'	Salvia 'May Night'	Dark Blue	Late Spring – Early Summer	1.5'-2'	1'-1.5'	***	• •	A; Can spread into natural areas; Deadhead
Salvia pachyphylla	Mojave Sage	Purple	Summer	2'-3'	2'-3'	***	۲	I, R, UC; Low survival rate; Consider bare root planting; Hates organic matter and water
Salvia officinalis	Sage	Light Purple	Early Summer	24"	24"	***		R, UC; Fragrant foliage
Saponaria ocymoides	Rock Soapwort	Pink	Late Spring, Early Summer	9"	30"	***		P, R, UC
Sedum 'Autumn Joy'	Autumn Joy Sedum	Pink	Late Summer	1.5'-2'	2'	***	۵	A; Butterfly host plant
Santolina chamaecyparissus	Gray Santolina	Yellow	Mid-Summer	1.5'-2'	1.5'-2'	***	۲	N A
Sphaeralcea munroana	Tall Globernallow	Pink, Orange	Late Spring, Early Summer	1'-2'	.5'-1'	***	۲	
Sphaeralcea coccinea	Globe Mallow	Red, Orange	Spring, Summer, Early Fall	1'-1.5'	1'	***	۲	A; Wildflower for natural areas

LEG	END								
	erred Species		Do not over water			Abbreviations for Recommended District/Area:			
Alloy					UC = Urban Core R = Residential				
	-		Protect from sun and wind			I = Industrial			
*	Native*		Moisture Rating (L	ow Moisture – H	Iigh Moisture)	P = Parks			
	Pollinator**		Sun Exposure Ratir	ng (No Sun – Fu	ll Sun)	A = All districts/areas (excluding natural areas)			
••		.							
n	Height	Spread	Sun/Shade Tolerance	Moisture Needs		Notes			
y Fall	4'-5'	2'-5'	***	⊘ → ♦					
oring	1"	12"	***	•	P, R, UC				
d-	3"	12"	***	٢	• P, R, UC				
nmer,	12"	12"	***	۵	• P, R, UC				
	24"	18"	**	۵	* P, R				
	6"	18"	***	۵	* * * A; N	Not long-lived; Low priority			
nmer,	18"	18"	***	۵	💓 P, R, UC				
ring,	3"	18"	**	٢	¥ P, R, UC	, Streetscapes			
ring	1"	18"	***	•	💓 P, R, UC	C, Streetscapes			
	3"	18"	***	۵	P , R, UC	c, Streetscapes			
ring	2"	18"	**	۵	💓 P, R, UC	c, Streetscapes			
	2'-3'	2'-2.5'	***	۸ ۸	• P, R, UC	2, Streetscapes			
ring, d- ner, ll	6"	8"	`****	۵	₩ P; Self-see	eds			
nmer, æ Mid	6"	18"	***	۵	₩ A; Syn. E	pilobium canum			
	12"	12"	***	⊘→●	* * P				
					*				
	1.5'-2.5'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$					
	12"	12'	***	٢					
	12"	12"	***			attractive in landscape			

				JEND							
			Pre	eferred Species		Do not over water			Abbreviations for Recommended District/Area: UC = Urban Core		
			All	owed Species		Protect from sun a	nd wind		R = Residential		
CENTER	RA APPROVED P) 1 ANT I IST	*	Native*		Moisture Rating (I	Low Moisture – H	I = Industrial P = Parks			
					•				A = All districts/areas (excluding natural areas)		
PERENNIALS & GRASSI	ES (Continued)			Pollinator**	<u> </u>	Sun Exposure Rati	ng (No Sun – Fu	ll Sun)			
Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs		Notes		
FORBS											
Stanleya pinnata	Princes Plume	Yellow	Spring, Summer, Early Fall	4'-5'	2'-5'	***	⊘→	* * * A			
Thymus neiceffii	Juniper Leaf Thyme	Magenta	Early Spring, Mid Spring	1"	12"	***	•	P, R, UC			
Thymus serpyllum	Creeping Thyme	Dark Pink	Early Summer, Mid- Summer	3"	12"	***	۵	P, R, UC			
Thymus vulgaris	Common Thyme	Light Purple	Late Spring, Early Summer, Mid-Summer	12"	12"	***	۵	P, R, UC			
Tradescantia occidentalis	Spiderwort	Purple	Summer	24"	18"	**	۲	* P, R			
Verbena bipinnatifida wrightii	Wild Verbena	Purple	Summer	6"	18"	***	۲	* * A; N	lot long-lived; Low priority		
Veronica austriaca	Broadleaf Speedwell	Blue	Late Spring, Early Summer, Mid-Summer	18"	18"	***	۲	P, R, UC, Streetscapes			
Veronica filiformis	Creeping Speedwell	Light Blue	Early Spring, Mid Spring, Late Spring	3"	18"	**	۵	₩ P, R, UC, Streetscapes			
Veronica liwanensis	Speedwell	Blue	Mid Spring, Late Spring	1"	18"	***	٢	P, R, UC, Streetscapes			
Veronica pectinata	Wooly Speedwell	Blue	Mid Spring	3"	18"	***	۲	P , R, UC			
Veronica repens	Creeping Speedwell	White, Cream	Mid Spring, Late Spring	2"	18"	**	•	💓 P, R, UC	, Streetscapes		
Veronica spicata	Veronica	Blue	Summer	2'-3'	2'-2.5'	***	• •	P, R, UC	, Streetscapes		
Viola corsica	Corsican Violet	Violet, Purple	Mid Spring, Late Spring, Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	6"	8"	````````````````````````````````````	۵	₩ P; Self-see	eds		
Zauschneria latifolia var. arizonica	Hardy Hummingbird Trumpet	Dark Orange	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	6"	18"	***	۵		pilobium canum		
Zinnia grandiflora	Plains Zinnia	Yellow	Summer	12"	12"	***	⊘→●	* * P			
GRASSES											
Bouteloua curtipendula	Side Oats Gramma	Insignificant	Summer	1.5'-2.5'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$				
Bouteloua gracilis	Blue Grama	Insignificant	Summer	12"	12'	***	۲				
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	Golden	Summer	12"	12"	***		A; Very a	attractive in landscape		

PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
	9	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
GRASSES		•						
Buchloe dactyloides	Buffalograss	Insignificant	Summer	6"	12"	***	۵	A; Turf o
Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Insignificant	Late Spring, Summer, Fall, Winter	3'-5'	1.5'-2.5'	***	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Often cut ba
Festuca glauca 'Elijah Blue'	Blue Fescue	Green Purple	Summer	.75'-1'	.5'75'	***	⊘→♦♦	А
Miscanthus sinensis 'Morning light'	Maiden Grass	Insignificant	Fall, Winter	4'-6'	2.5'-4'	** *	• •	A; Use natives v Aggressive
Miscanthus sinensis 'Purpurascens'	Purple Maiden Grass	Insignificant	Fall, Winter	3'-4'	2'-3'	***	• •	A; Use natives v
Muhlenbergia reverchonii Undaunted	Undaunted Ruby Muhly Grass	Pink	Fall	30"	30"	***	•	A; Glows pink i
Panicum virgatum 'shenandoah'	Red Switch Grass	Insignificant	August, Fall, Winter	3'-4'	3'-4'	★★→★★ ★	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A A
Orzyopsis hymenoides	Indian Ricegrass	Insignificant	Summer	36"	18"	***	۵	
Panicum virgatum	Switchgrass	Insignificant	Summer	36"	24"	***	•	A; Any c
Schizachyrium scoparium	Little Bluestem	Insignificant	Fall	4'	30"	***	•	
Sorghastrum avenaceum (nutans)	Indian Grass	Insignificant	Summer	5'	4'	***	٠	
Sporobolus heterolepis	Prairie Dropseed	Insignificant	Summer, Fall	2'-3'	2'-3'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	

Notes
Turf option
n cut back in Spring
natives when possible – not for use adjacent to native areas; ve
natives when possible; Fall color
rs pink in the sunlight
A
; Any cultivar
A
¥Α

NT

TREES

LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name Common Name			Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES		Ornamental	Coniferous	Deciduous							
Acer grandidentatum	Big-Tooth Maple			x	Yellow Green	Late Spring	10'-30'	20'-30'	** *	• •	* P, I, UC
Acer platanoides	Norway Maple			x	Yellow Green	Early Spring	50'	50'	** *	••	I, P; Potential to be invasive
Acer rubrum	Red Maple			x	Red	Early Spring, Mid Spring	70'	50'	** *	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	А
Acer tataricum 'HotWings'	Hot Wings Maple	x			Light Green	Mid Spring	20'	20'	****	• •	A; Showy seeds, compact size
<i>Acer x freemanii '</i> Autumn Blaze'	Autumn Blaze maple			x	N/A	N/A	35'	25'	***	٠.	A; Fall color, hardy
Aesculus glabra	Ohio Buckeye			x	Light Yellow	Late Spring, Early Summer	40'	40'	````````````````````````````````````	• •	P, R; Fragrant flowers; Fall color; Has been invasive in other states
Aesculus hippocastanum	European Horse Chestnut			x	Light Pink	Late Spring	75'	65'	** **	••	A; Has been invasive in other states
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry			x	White	Mid Spring	15'-25'	15'-25'	** *	• •	ÌÌI A
Carpinus betulus 'Fastigiata'	European Hornbeam			x	Yellow Green	Early Spring	30'-40'	20'-30'	** **	••	А
Celtis occidentalis	Common Hackberry Western			x	Green	Mid Spring, Late Spring	60'	50'	***	•	Attractive when large, high bird habitat value and butterfly host
Cercis canadensis	Redbud	x		x	Pink	Early Spring, Mid Spring	30'	30'	₩	••	P; Understory tree; Needs protection; Small scale ornamental; Early nectar source
Cercis 'Hearts of Gold'	Eastern Redbud	x		x	Light Red	Early Spring, Mid Spring	25'	25'	*	• •	P; Understory tree; Needs protection; Small scale ornamental; Early nectar source
Cupressus arizonica	Arizona Cypress		x		Insignificant	Spring	30'-40'	15'-25'	***	•	
Crataegus crus-galli 'Inermis'	'Inermis' Cockspur Hawthorn			x	White	Late Spring, Early Summer	25'	20'	***	٢	♥♥ P, R, UC; High habitat value, early blooms and fall berries
Crataegus x mordenensis 'Toba'	Toba Hawthorn			x	Pink	Mid Spring, Late Spring	25'	20'	***	۵	X A; High habitat value, early blooms and fall berries
Gleditsia triacanthos f. inermis Imperial'	Imperial Honeylocust			x	Yellow Green	Early Spring, Mid Spring	50'	40'	***	۵	I, P, Streetscapes; High priority; Not messy; Light shade; Tough

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

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 LEGEND

 Preferred Species

 Allowed Species

 Allowed Species

 Moisture Rating (Low Moisture – High Moisture

Sun Exposure Rating (No Sun – Full Sun)

Pollinator**

TREES (Continued)

Scientific Name	Common Name	Туре			Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
TREES		Ornamental	Coniferous	Deciduous							
Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honeylocust			x	Yellow Green	Early Spring, Mid Spring	35-45'	25-35'	***	۵	N I, P,
Gymnocladus dioica	Kentucky Coffee Tree	х		x	Greenish White	Late Spring, Early Summer	60'-80'	40'-55'	***	۸ ۸	А
Juniperus chinensis	Chinese Juniper		х		N/A	N/A	20'	6'	***	•	A; Staple p
Juniperus scopulorum	Rocky Mountain Juniper		x		N/A	N/A	30'	12'	**	٠	A; St
Juniperus virginiana 'cupressifolio'	Hillspire Juniper			x	N/A	N/A	15'-30'	5'-15'	***	• •	А
Koelreuteria paniculata	Golden Rain Tree	x		x	Yellow	Early Summer, Mid- Summer	30'	30'	***	٢	P, St
Magnolia stellata	Star Magnolia	x		x	White	Early Spring	20'	15'	````````````````````````````````````	• •	by frost
Malus 'Adams' or other cultivars	Flowering Crabapple	x		x	Pink	Mid Spring	20'	15'	**	• •	P , R
Malus floribunda	Japanese Crabapple	x		x	Light Pink	Early Spring, Mid Spring, Late Spring	20'	30'	**		A; Fi
Phellodendron amurense	Amur Cork Tree			x	Yellow Green	Late Summer, Early Fall	20'	30'	***	٠.	A; Habitat
Picea abies	Norway Spruce		х		N/A	N/A	60'	30'	***	٠.	A; Shelter;
Picea engelmannii	Engelmann Spruce		x		N/A	N/A	100'	15'	***	♦ ♦	(to h
Picea glauca	White Spruce		x		N/A	N/A	60'	20'	***	♦ ♦	А
Picea pungens	Colorado Spruce		x		N/A	N/A	60'	20'	***		*(to h
Pinus flexilis 'Vanderwolf's pyramid'	Limberpine			x	N/A	N/A	20'-30'	10'-15'	***		*(to h
Pinus heldreichii	Bosnian Pine		х		N/A	N/A	70'	40'	***	۵ ۵	A; Shelter;
Pinus edulis	Pinion Pine			x	Yellow	Spring	20'-30'	10'-20'	***	۵	* A; W
Pinus nigra	Austrian pine			x	N/A	N/A	40'-60'	10'-40'	***	• •	A
Pinus ponderosa	Ponderosa Pine			x	N/A	N/A	60'-125'	25'-30'	***		A; K
Populus x acuminata	Lanceleaf Cottonwood				Green, Brown	Spring	40'-60'	30'-40'	***		
Populus angustifolia	Narrowleaf Cottonwood				White	Spring	30'-50'	20'-30'	***	۵.	P , I;

Abbreviations for Recommended District/Area:							
UC = Urban Core							
R = Residential							
I = Industrial							
P = Parks							
A = All districts/areas (excluding natural areas)							

Notes

P, Streetscapes

e plantings throughout; Provides shelter; Resilient

Staple plantings throughout; Provides shelter; Resilient

Streetscapes; Tolerant of alkalinity

A; A novelty in protected spot; Blooms are often damaged

R, Streetscape; Honeybee forage; Spring interest

Fragrant flowers

itat value for birds, butterflies; Is invasive in NE US eer; Attracts birds; Invasive in northern US

high elevations) A; Shelter; Winter interest

high elevations) A; High habitat value; Easily available

o high elevations) A er; Winter interest

Will die from over watering; Keep out of Kentucky Bluegrass

Keep out of Kentucky Bluegrass

P, I; Spreads aggressively I; Spreads aggressively



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

TREES (Continued)

Scientific Name	Scientific Name Common Name		Common Name		Туре	:	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES		Ornamental	Coniferous	Deciduous									
Populus sargentii	Plains Cottonwood				Yellow	Late Winter, Early Spring	60'-80'	50'-60'	***	••	* * * * ; A		
Prunus cerasifera	Cherry Plum	х		x	Light Pink	Early Spring, Mid Spring	25'	20'	***	••	₩ A; Early bloomer; Fruit for birds		
Prunus maackii	Manchurian Cherry	x		x	White	Mid Spring, Late Spring	30'	25'	****	••	A; Early bloomer; Fruit for birds		
Prunus padus	Bird Cherry	x		x	White	Mid Spring, Late Spring	30'	30'	**	••	A; Early bloomer; Fruit for birds		
Prunus sargentii	Sargent Cherry	x		x	Pink	Mid Spring	25'	15'	***	••	A; Especially hardy, slightly later blooming		
Prunus virginiana 'Shubert'	Canada Red Chokecherry	x		x	White	Spring	30'	25'	***	۵	A; Dark foliage provides nice contrast		
Ptelea trifoliata	Common Hoptree			х	Light Green	Early Summer	20'	20'	¥	•	P, R, Streetscapes; Not easy to find		
Pyrus salicifolia 'Pendula'	Willowleaf Pear	x		x	White	Mid Spring	25'	15'	** **	••	A; Tolerant of clay and may drought-tolerant once established		
Pyrus ussuriensis	Chinese Pear	х		х	White	Mid Spring	40'	40'	***	••	А		
Quercus alba	White Oak			х	N/A	N/A	70'	50'	***	• •	А		
Quercus bicolor	Swamp White Oak			x	Yellow Green	Mid Spring	60'	60'	````````````````````````````````````	• •	А		
Quercus rubra	Northern Red Oak			х	Yellow Green	Late Spring	80'	75'	***	• •	А		
Quercus imbricaria	Shingle Oak			x	Yellow Green	Mid Spring	70'	60'	***	• •	А		
Quercus macrocarpa	Bur Oak			x	Yellow Green	Mid Spring	80'	80'	***	•	Å A		
Quercus muehlenbergii	Chinkapin Oak			x	Yellow Green	Mid Spring	50'	50'	***	•	А		
Quercus palustris	Pin Oak			x	Yellow Green	Mid Spring	70'	60'	***	$\blacklozenge \blacklozenge \dashv \spadesuit \blacklozenge \blacklozenge \blacklozenge$	A		
Quercus robur	English Oak			х	Yellow Green	Mid Spring	60'	40'	***	• •	A		
Quercus robur 'Fastigiata' SKYROCKET	Fastigiate English Oak			x	Yellow Green	Mid Spring, Late Spring	60'	20'	***	••	Α		
Quercus rubra	Red Oak			х	Yellow Green	Late Spring	60'	60'	***	• •	A		
Quercus shumardii	Shumard Oak			x	Yellow Green	Mid Spring	50'	40'	***	•	Α		
Sophora japonica	Japanese Pagoda Tree	x		x	Cream	Mid-Summer, Late Summer	50'	45'	***	••	Α		
Styphnolobium japonicum	Pagoda Tree	x		x	White	Mid-Summer, Late Summer	75'	75'	** **	• •	А		
Syringa pekinensis 'Morton'	Peking Lilac	x		x	White	Early Summer	20'	15'	***	•	N¥ A		
Tilia cordata	Littleleaf Linden			х	Light Yellow	Early Summer	40'	35'	***	• •	💥 A; Fragrant		

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

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 LEGEND

 Preferred Species

 Allowed Species

 Allowed Species

 Allowed Species

 Moisture Rating (Low Moisture – High Moisture)

 Native*

 Pollinator**

 Sun Exposure Rating (No Sun – Full Sun)

TREES (Continued)

Scientific Name	Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
TREES		Ornamental	Coniferous	Deciduous							
Syringa reticulata	Japanese Tree Lilac	x		x	Cream	Late Spring Early Summer	25'	20'	★★→★★	۵	X A; H
Tilia americana	American Basswood			x	Light Yellow	Early Summer	50'	40'	***	• •	P, St pyramidal
Tilia amurensis	Linden			x	Light Yellow	Late Spring	75'	50'	****	۵	• A; A
Tilia cordata	Littleleaf Linden			x	Light Yellow	Early Summer	40'	35'	***		A; Fi
Tilia tomentosa	Silver Linden			x	Yellow Green	Late Spring, Early Summer	60'	45'	***	• •	A; Fr
Tilia x flavescens 'Glenleven'	Glenleven Linden			x	Yellow Green	Late Spring, Early Summer	75'	50'	★★→★★ ★	• • •	A; Fr
Ulmus 'Frontier'	Frontier Elm			x	Insignificant	Mid Fall	35'	25'	***	• •	А
Ulmus 'Heritage'	Heritage elm				Insignificant		40'	30'	***	۵.	А
Ulmus 'Morton' Accolade	Accolade Elm			x	Insignificant	Early Spring, Mid Spring	70'	40'	***	۵ ۵	А

	Abbreviations for Recommended District/Area:
	UC = Urban Core
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NТ		
N	otes	

High value ornamental providing fragrance in late spring

Streetscapes; Reliable summer honeybee forage; Fragrant; Nice al habit

Adapts to many soils; Good urban tree; Fragrant

Fragrant

Fragrant

Fragrant

CENTERRA DO NOT PLANT LIST

SPECIES NOT TO BE PLANTED IN CENTERRA

Scientific Name	Common Name	Notes
TREES		
Acer palmatum	Japanese Maple	This is very hard to grow
Acer saccharum	Sugar Maple	Chlorosis
Acer tataricum	Tatarian maple	Chlorosis, "Hot Wings" is allowed
Acer triflorum	Three-flowered Maple	
Betula x plettkei 'Golden Treasure'	Dwarf Birch	
Cornus kousa	Chinese Dogwood	Borderline hardy
Cornus mas	Cornelian Cherry Dogwood	Borderline hardy
Juniperus virginiana	Eastern Red Cedar	Invasive
Pinus aristata	Bristlecone Pine	Novelty; maintenance picky
Pinus contorta	Lodgepole Pine	Novelty; maintenance picky
Populus tremuloides	Quaking Aspen	
Prunus sibirica	Siberian Apricot	Do not recommend - fruit
Prunus ssp.	Plum	Do not recommend - fruit
Robinia pseudoacacia	Black Locust	Suckers, thorny, borer damage
Thuja occidentalis	Arborvitae	
Ulmus americana	American Elm	
Ulmus parvifolia	Chinese Elm	Probably not hardy
Zelkova serrata	Japanese Zelkova	
Zelkova serrata 'Green Vase'	Green Vase Zelkova	
Zelkova serrata 'Musashino'	Musahino Zelkova	
Zelkova serrata 'Village Green'	Japanese Zelkova	
SHRUBS		
Buddleja alternifolia	Fountain Butterflybush	Invasive potential
Buxus 'Green Gem'	Green Gem Boxwood	Sun and windburn
Erica carnea	Winter Heath	Will not survive
Genista tinctoria	Dyer's Broom	Possible invasive
Genista tinctoria 'Royal Gold'	'Royal Gold' Broom	
FORBS		
Aegopodium podagraria	Bishop's Goutweed	Do not recommend; invasive potential
Aquilegia alpina	Alpine Columbine	Will not survive
Astragalus adsurgens	Prairie Milkvetch	
Astragalus agrestis	Field Milkvetch	
Astragalus ceramicus	Painted Milkvetch	
Astragalus crassicarpus	Ground Plum	
Astragalus gracilis	Slender Milkvetch	
Astragalus missouriensis	Missouri Milkvetch	

SPECIES NOT TO BE PLANTED IN CENTERRA (CONTINUED)

Scientific Name	Common Name	Notes
FORBS		
Astragalus mollissimus	Wooly Milkvetch	
Astragalus pectinatus	Narrowleaf Milkvetch	
Chamaemelum nobile	Roman Chamomile	
Dicentra eximia	Bleeding Heart	Won't thrive in this climate
Epimedium x rubrum	Bishop's Hat	Won't thrive in this climate
*	_	Other nonnative spurges can be
Euphorbia polychroma	Cushion Spurge	invasive
Gypsophila paniculata	Baby's Breath	Invasive
Gypsophila repens	Creeping Baby's Breath	
Lavandula	Lavender	French and Spanish spp. not hardy
Leucanthemum x superbum	Shasta Daisy	Potentially invasive
Lupinus pusillus	Annual Lupine	Concern about invasive
Nepeta cataria	Catnip	Weed, Catnip escapes frequently into natural areas and has become a weed.
Parthenium integrifolium	Wild Quinine	
Persicaria polymorpha	Knotweed	Invasive potential, 3 species of knotweed listed on CC noxious weed list - this one is not
Persicaria virginiana	Jumpseed	Invasive potential
GRASSES (NOT TO BE USED IN SEED M	(IXES)	
Agropyron desertorum, A cristatum	Crested Wheatgrass	
Agropyron intermedium	Intermediate Wheatgrass	
Agropyron repens (Elytrigia repens or Elymus repens)	Quackgrass	
Agrostis stolonifera, A.alba, A. gigantea, A. palustris	Creeping Bentgrass	
Alopecurus pratensis	Meadow Foxtail	
Bromopsis inermis (Bromus inermis)	Smooth Brome or Hungarian Brome Grass	
Dactylis glomerata	Orchardgrass	
Festuca arundinacea (Lolium arundinaceum)	Tall Fescue (adjacent to wetlands)	
Festuca ovina var. ovina	Hard Fescue or Sheep Fescue	
Festuca pratensis	Meadow Fescue	
Phalaris arundinacea (Phalarioides arundinacea)	Reed Canary Grass	
Phleum pratense	Timothy	
Poa compressa	Canada Bluegrass	
Poa pratensis	Kentucky Bluegrass (adjacent to wetlands)	
Saccharum (erianthus) ravennae	Hardy Pampas Grass	

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

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CENTERRA SEEDING, MULCHING AND SOIL PREPARATION SPECIFICATIONS

1.0 SOIL PREPERATION

1.1 Soil Amendments

A. Fertilizer

Phosphorous fertilizer is typically deficient in Colorado soils. Because phosphorous is a promoter of root growth it is extremely beneficial to new seedlings. Phosphorous is also immobile in clay soils, so it needs to be applied previous to tillage work so it will be incorporated into the root zone.

All areas shall be fertilized with 18-46-0 at 150 lbs/acre or an equivalent fertilizer that will provide no less than 27 lbs/acre of nitrogen and 69 lbs/acre of phosphorous. Empty fertilizer bags or weight ticket shall remain available for inspection.

B. Compost

All irrigated turf grass areas shall receive compost at the rate of 3 cubic yards per 1000 sq ft. Native grass areas shall receive compost at 2 cubic yards per 1000 sq ft. Weight tickets shall be available for inspection.

The compost shall be Biocomp Class 1 compost from A-1 Organics, or approved equivalent.

In wetland or moist meadow areas no compost will be required. The goal here is to keep nutrients out of the wetland areas to discourage rampant growth of cattails.

1.2 Tillage

Tillage is one of the most important steps that is often overlooked. All areas shall be thoroughly tilled to a depth of 6 - 8 inches after the soil amendments have been applied. This can be accomplished with rototilling machinery, or in larger areas, agricultural machinery such as chisel plows and/or discs. After tillage is complete, no dark areas resulting from the compost application shall be observed.

1.3 Fine Grading

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After tillage is complete all areas shall be fine graded.

Grading for turf areas will require more detail than native areas. Turf areas shall be smooth, even and 1"below adjacent sidewalks and curbs.

The grade for native areas can be left somewhat rougher or less detailed, because these areas will be managed with a larger class of machinery, i.e. tractors and brush hog type rotary mowers.

2.0 SEED MIXES

2.1 Seed Selection Process

Seed mix selection must be reviewed and approved by DRC Member and High Plain Environmental Center Executive Director Jim Tolstrup.

There are three steps in the seed selection review process:

1) During the design phases

2) The seed mix bags must be signed off on by Jim Tolstrup before spreading the seed.

3) At the time of compliance inspection

2.2 Turf Seeding

A. Tall Fescue Turf Areas

These areas shall be seeded with Sharp Bros Seed Dura Turf Lawn Mix, or equivalent at the rate of 8 lbs/1000 sq ft:

Turf type tall fescue	80%
Kentucky bluegrass, turf quality	10%
Ryegrass, turf quality	10%

B. Kentucky Bluegrass Turf Areas

These areas shall be seeded with Sharp Bros Seed Premium Lawn Mix, or equivalent, at 3 lbs/1000 sq ft.

2.3 Native Grass Seeding

A. Native Grass Turf Areas - "Enhanced" short native grass that can be left un-mowed adjacent to formal landscaped areas

These areas shall be seeded with the following mix seeded at 2 lbs. PLS/1000 sq. ft. or 86 lbs./acre.

Buffalo grass, Cody or Bowie	40%
Blue grama, Alma or Bad River	20%

Sideoats gra Slender Whe

Slender wh Western wh Green need Canada wile Beardless w Annual rye Blue grama Sideoats gra Little bluest Yellow Ind Tomahawk Big bluester Switchgrass Alkali sacat

Total

season grasses:

Big Bluester Yellow Ind Switchgrass

These added to the Wet Meadow mix totals 20 pounds/acre.

These areas will likely be broadcast seeded and not suitable to drill seeding because of their size and/or they may be wet. To facilitate broadcasting the seed more evenly, rice hulls should be added to bulk up the mix.

ama, Vaughn or El Reno	
neatgrass	

20% 20%

B. Upland Native Areas - for open space areas

	Lbs. PLS/acre	Seed Box Designation
neatgrass	3	smooth
heatgrass, Rosana	3	smooth
dle grass, Lodorm	1	smooth
ldrye, Mandan	1	smooth
vildrye, Shoshone	.5	smooth
	2	smooth
a, Bad River	.5	fluffy
ama, Vaughn	1.5	fluffy
stem, Camper	1.5	fluffy
liangrass	1	fluffy
x or Neb 54		
em, Pawnee	1	fluffy
s, Blackwell	.5	fine
ton	.25	fine

16.75 pounds pure live seed per acre

C. Wetland or Wet Meadow Areas - for wet pond bottoms

These areas shall be seeded with High Plains Wet Meadow Mix by Western Native Seed or equivalent at the rate of 10 lbs./acre In addition to the wetlands mix above add the following tall warm

	Lbs. PLS/acre
em, Kaw or Pawnee	5
dian grass, Tomahawk or Neb 54	4
ss, Blackwell	1

CENTERRA SEEDING, MULCHING AND SOIL PREPARATION SPECIFICATIONS

2.4 Erosion Control or Overlot Areas - for temporary soil stabilization

These areas shall be drill seeded with the following mix:

Lbs PLS/acre

Slender wheatgrass	5
Western wheatgrass, Rosana	3
Canada wildrye, Mandan	3

Total 11 pounds Pure Live Seed/acre

3.0 SEED APPLICATION

3.1 Seed Drill

Native seeding must be completed with a native grass drill that has 3 seed boxes that are capable of metering and applying fine seed, fluffy seed and smooth seed. These three types of seed are designated on the seed mixes. Examples are smooth seed –

wheatgrasses, fluffy seed - yellow Indian grass, and fine seed - alkali sacaton.

For the turf grasses or other mixes, small areas can be hand broadcast or a brillion drill or other appropriate drill should be used.

3.2 Seed Tags

Native seed mixes must be ordered so that fluffy seed, fine seed and smooth seed are bagged separately and can be placed in the appropriate seed box for application. Tags for all mixes including the native seed, must be provided for inspection prior to any seed being planted.

4.0 MULCH

4.1 Hydromulch

Native seed areas and turf grass areas shall be mulched with virgin woodfiber hydromulch with steam separated fibers. Recycled paper hydromulch or ground wood chip hydromulch are not acceptable. The rate of application shall be 2500 lbs/acre.

4.2 Straw Mulch

Overlot areas or temporary erosion control seeding shall be mulched with weed free certified straw at a rate of 2 tons/acre, crimped 3 - 4 inches into the soil surface.

5.0 SITE CLEANUP

Hydromulch overspray must be cleaned off all sidewalks, fences, light poles switch cabinets and landscape material. When straw mulching is complete all twine or bale wrap material must be picked up and removed.

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2.18 Lighting

No uplighting is allowed. All exterior light fixtures must be full cut off, fully shielded type. Low wattage decorative and "candle" type fixtures may be approved by the DRC on a case by case basis. Floodlights and walls packs are not allowed. High pressure sodium lights are not allowed. Low level landscape lighting should not exceed 500 watts total.

High Pressure Sodium lights are strictly prohibited.

Except for holiday seasonal lights (which are appropriate from Thanksgiving through the first week of January), colored lights are not permitted. In the sole discretion of the DRC, this time period may be extended due to extreme weather conditions. During such extended period, lighting may not be illuminated.

Site lighting and exterior house lighting on lots adjacent to environmentally sensitive areas will be reviewed on a case by case basis.

Every Single Family Detached lot shall include the front yard post light fixture as specified in Figure 2.18A on the next page. Fixture must include a photo cell. The post shall be located next to the front sidewalk or driveway and shall be installed 6'-6" from the back of the attached sidewalk along the street. See Figure 2.18B The height for the lamp fixture at the top of the post shall be 5'-6". The lamp post shall be installed with a concrete footing a minimum of 9" diameter width by 1'-6" depth.

Submittal Requirements:

Owner must provide a plot map showing where the exterior lighting will be located on Lot and a photo of the light design.



FIGURE 2.18A Front Yard Lamp Post

OPTION 1



OPTION 2



Front Yard Light Fixture Specs

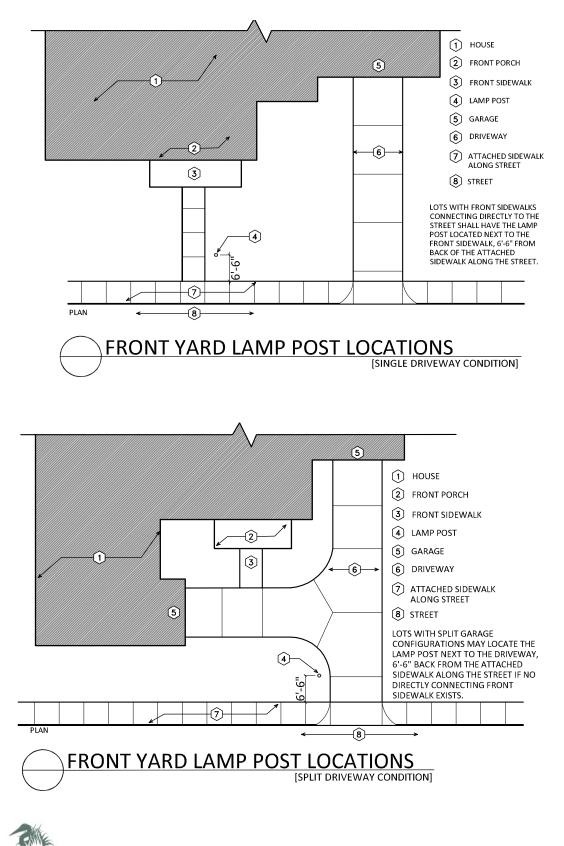
Fixture Head Option 1- Craftmade Z4415-OBG Description: Union 1 Light 21 Inch Oiled Bronze Gilded Outdoor Post Light, Medium Family: Union Dimensions: 12"W x 21.13"H x 15.25" Ext. Glass/Shade: Oiled Bronze Gilded, 10"H x 12"W Lamping: (Watts/Bulb): x100 watts E26 *LED Bulbs Required* Finish: Oiled Bronze Gilded https://www.craftmadelightinglights.com/product/craftmade-union-postlights-accessories-z4415-obg.html?page=1

Fixture Head Option 2 - Minka Group 8126-A188-PL Description: 1 Light Post Mount in Windsor Rust Finish with Double French Scavo with Twist and Lock Glass Family: Vanira Place Dimensions: 12"W x 15 3/4"H x 16" Ext. Glass/Shade: Double French Scavo with Twist and Lock Glass Lamping: (Watts/Bulb): 1-13W GU24 Spira CFL Finish: Windsor Rust http://www.minkagroup.net/ProductDetails. aspx?id=18621

**Height for the lamp fixture at the top of Post (A) to grade shall be 5'-6" (Point A to Grade)

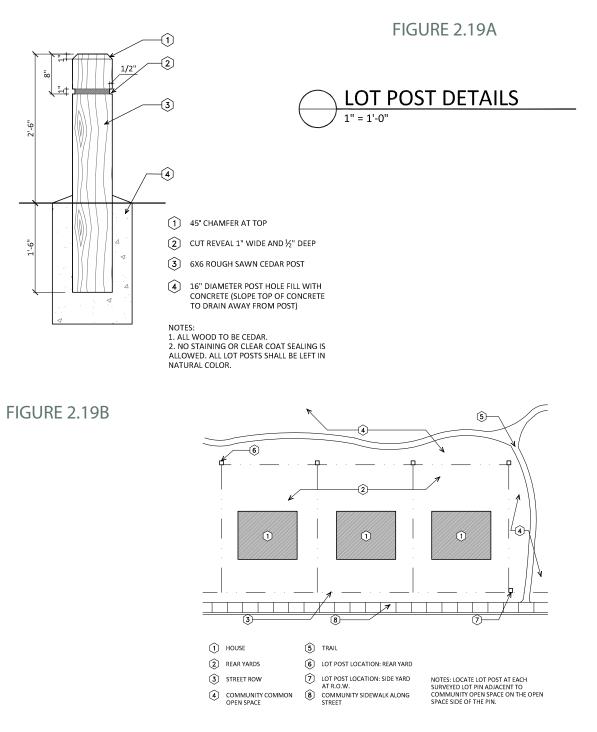
Fixture Post - Craftmade Z8792-07 Description: Smooth Post with Photo Cell, Rust Finish Dimensions: 84" Height, 15.75" Diameter http://www.1800lighting.com/Craftmade/item. cfm?itemsku=Z8792-07#

FIGURE 2.18B -Front Yard Lamp Locations See Section 2.18 for Details



2.19 Lot Posts on Common Areas (Rear and Side Yards)

In order to clearly mark the boundary between lots and community common space, a lot post as specified in Figure 2.19A and 2.19B, shall be installed by the initial builder adjacent to all the surveyed lot pins on the common space side of the pins. Lot posts are not required where perimeter open fencing exists.



[AT ALL LOT CORNERS ADJACENT TO COMMUNITY OPEN SPACE]

2.20 Mailboxes

Individual mailboxes are not permitted. The United States Postal Service requires group mail boxes.

2.21 Mechanical Equipment

All utility meters, equipment, air conditioning compressors, transformers, etc. must be visually screened (so as not to be visible from any street or Common Property) with shrubs and shall not be located in front yards.

All mechanical equipment, radon systems, and vents attached to the exterior of the house shall be painted to match the color of the adjacent siding.

All electrical wiring services must be located underground.

Window and wall mounted air conditioning units are prohibited.

Submittal Requirements:

None required provided you comply with the above guidelines. Additional units, installed after initial construction of the new home requires DRC approval

2.22 Play Equipment

Play equipment includes play structures, swing sets, trampolines, sports equipment, etc. Play equipment shall not be taller than 9'-0", is allowed only in rear yards, and must maintain a minimum 5' setback from any property line.

- a. Awnings and/or coverings must be earth tone in color.
- b. Metal and plastic play equipment must be earth tone in color.
- c. Wood play structures must be of redwood or cedar and must be assembled and maintained.

Play equipment may not be attached to a deck or main structure.

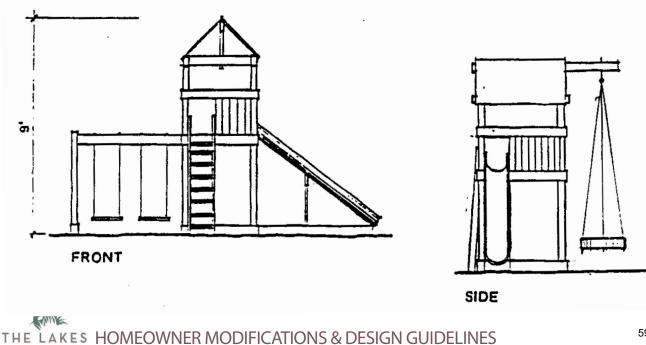
Consideration should be given to adjacent properties, so as not to create an undue disturbance.

Submittal Requirements:

GENTERRA

A description of the play equipment with its dimensions and colors (photographs where available).

A plan showing the location of the play equipment, adjacent buildings and property lines.



2.23 Play Houses

Play houses must be located in the rear yard and may not be located within any setback.

Tree playhouses are not permitted.

No electrical, plumbing, or air conditioning may be installed in the interior or exterior of the playhouse.

Playhouses must be painted to match or complement the house.

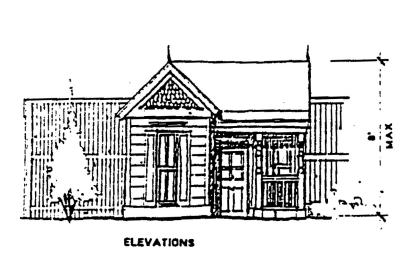
Playhouses shall be no taller than 9' at its tallest point and shall not exceed 75 square feet in size.

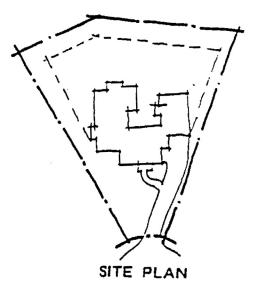
Playhouses must have a minimum I 0' clearance from any structure.

Only one playhouse is allowed per lot and is not allowed on a lot that already has a gazebo or storage shed.

Submittal Requirements:

A description of the play house with its dimensions and color (i.e., photographs, drawings. color samples). A plan showing the location of the playhouse, adjacent buildings, and property lines.





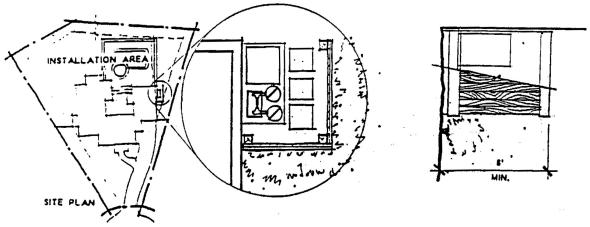
2.24 Pools

Pools and associated decks shall be located in the rear yards of the Lot and shall not encroach any easements or be located within 5' of any property line. Pool equipment must be fully screened on all sides with a 6' cedar privacy fence and located adjacent to the dwelling unit. Above ground, masonry block, and pneumatic pools are not allowed. Completely in-ground vinyl clad concrete pools are required to have a brick, cast stone or natural stone coping and ceramic tiled water line. Construction access is permitted only across the Lot on which the pool is to be constructed. All excess soil shall be removed from the Properties and properly disposed of. Pool overflow may not be directed onto adjacent Lots or the Common Properties. Installation of pool structures and associated decks, retaining walls, landscaping, fencing, etc., shall not alter or impair the surface drainage on adjacent Property.

Submittal Requirements

A site plan with propose location of pool, details of design and materials.

The location and description of all mechanical equipment, lighting, etc and type of screening to be provided. Construction Plans drawn to scale.



2.25 Retaining Walls

Retaining walls shall be constructed of Loveland/Masonville Buff sandstone or equal and shall be limited to 4'-0' in height unless it can be shown that side conditions justify a taller wall. Wood or railroad ties are not allowed for retaining walls. Retaining walls greater than 4'-0" in height shall be designed by a licensed Professional Engineer in the State of Colorado. Retaining walls shall not alter or impair the drainage across adjacent properties.

Submittal Requirements:

Owner must provide a plot map showing where the wall will be install on the Lot and the dimensions.

2.26 Satellite Dishes

All dishes over one meter in size are prohibited. All dishes must be professionally installed. The maximum amount of visible wiring allowed is 4'. All dishes should be installed to receive optimum signal while minimizing visual impact from public roads. Installation of dishes on the front elevation are strongly discouraged.

Submittal Requirements:

No requirements if the criteria above is met.

2.27 Screen and Storm Doors

Screen and storm doors shall have a 9" maximum wide frame, which shall be finished to match or complement the window mullions or the house trim.

Storm doors shall have transparent glass. There shall be no cross members or ornamentation.

Screen doors shall have screen mesh with an even transparent look.

Submittal Requirements:

None required provided you comply with the above guidelines.



First three photos represent approved storm door styles. The last photo (far right) represents storm doors that are not permitted due to cross members and ornametnation.

2.28 Shutters

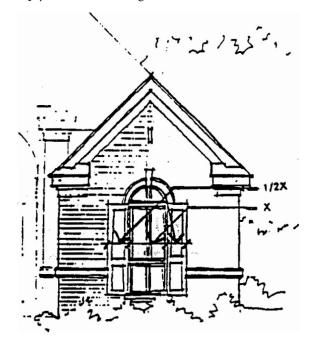
Shutters shall be half the width of the adjacent window (i.e., $3' \ge 6'$ window equals $1' \cdot 6'' \ge 6''$ shutter). The intent is to provide for a visually operable shutter.

Shutters shall be painted to match or complement the existing home.

Windows wider than 4'•0" will typically not be allowed to have shutters.

Submittal Requirements:

None required provided you comply with the above guidelines.



2.29 Solar Collectors

Solar Collectors must be integrated into the design of the house to fit flush with the wall or roof surface of the structure. Frame color of the unit must match or blend with the adjacent surface.

Submittal Requirements:

Owner must provide a drawing showing location of the solar collector on the house including dimensions and color.

2.30 Sport Courts

Sport courts are not permitted.

2.31 Storage Sheds

Storage sheds must be located in the rear yard abutting the house and may not be located within any setback. Should not exceed 8' at its tallest point.

Storage sheds shall have maximum square footage of 75 square feet.

Metal, plastic and composite storage sheds are not allowed.

Storage sheds shall be of wood and/or masonry construction with finish and color to match or complement that of the house.

Storage shed roofing must match or complement that of the house.

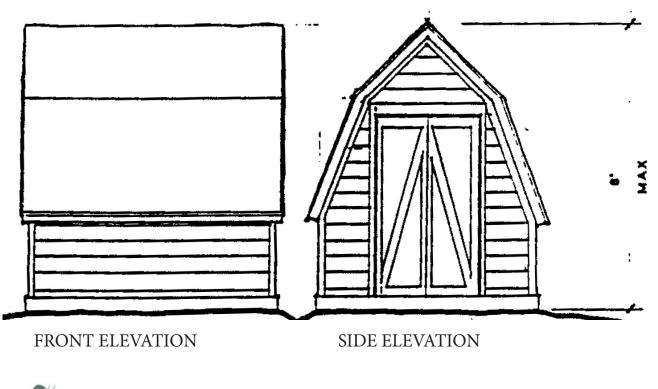
Only one storage shed is allowed per lot and is not allowed on a lot that already has a gazebo or playhouse.

Submittal Requirements:

A site plan showing the location of the shed, existing structures and property lines.

A description and the dimensions of the shed (i.e., construction drawing).

A description of materials and color for the shed and those of the house.



2.32 Trail Access

Access from rear yards adjacent to homeowner association and metropolitan district trails (NOT High Plains Environmental Center trails) may be installed using stepping stones. Stepping stones shall be natural sandstone, no larger than 16"x16" in size and shall be flush mounted to the ground. The finished appearance shall look substantially similar to the photo below.



2.33 Trellis/Arbors

Trellis/Arbor shall be attractive in appearance, without an excess of detail ornamentation.

Trellis/Arbor shall be of cedar, redwood or other material approved by the DRC.

If painted or stained, the trellis/arbor shall coordinate and compliment the colors of the house.

Overall height of the trellis/arbor shall not exceed 12'-0".

Trellis/Arbor may be attached to the house or detached (free standing).

Free standing Trellis/Arbor should not exceed 144 sq. ft. in size. (Larger sizes may be approved on case by case basis depending upon the yard area and proposed location.) Attached trellis may exceed 144 sq. ft. if at the discretion of the Committee it blends into the architectural fabric of the house.

Trellis/Arbor shall be located in side or rear yard locations only.

Trellis/Arbor may not be located within any setback or drainage, utility, or maintenance easements.

Only one Arbor/Trellis is allowed per lot.

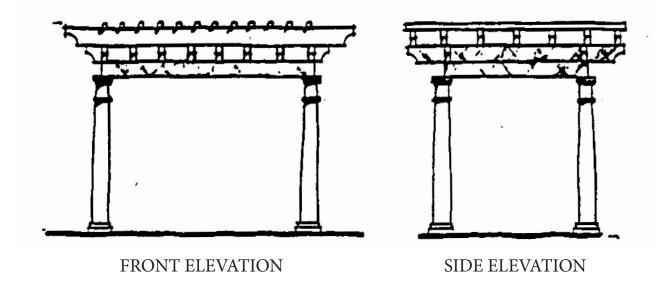
Construction shall not alter the drainage patterns established by the Master Drainage Plan.

Submittal Requirements:

A set of Door plans, elevations, roof plan and other construction drawings, drawn to scale which adequately describe the construction proposed.

Proposed exterior color and materials.

A site plan showing the location of the existing and proposed structures, and property lines.



2.34 Vegetable Gardens

Flower and vegetable gardens and raised beds of reasonable size are encouraged and should be located in the rear or side yards unless specifically approved by the DRC.

Submittal Requirements:

Owner to provide dimensions and materials of raised beds and plot map depicting the location on Lot.



3.0 USE RESTRICTIONS

3.1 Animals

No animals, horses, livestock, birds, poultry, reptiles or insects of any kind shall be raised, bred, kept or boarded in the Community; provided, however, that the Owners of each lot may keep a reasonable number of bona fide household pets (including dogs, cats and other domestic animals approved by the Board and allowed by City Code), so long as such pets are not kept for any commercial purpose and are not kept in such number or in such manner as to create a nuisance to any resident of the Community. Owners are responsible for assuring that their pets do not run free. All household pets shall be controlled by their owner and shall not be allowed off the owner's Lot except when properly leashed and accompanied by the owner. Pet owners are responsible for the immediate removal and proper disposal of animal waste deposited on any common area. Pet owners are liable for any damage to persons or property caused by their pets.

3.2 Business Activities

Owners may conduct business activities within their Dwelling Unit provided that all of the following conditions are met to the satisfaction of the Board:

- 3.2.1 The business conducted is clearly secondary to the residential use of the Dwelling Unit and is conducted entirely within the residence;
- 3.2.2 The existence or operation of the business is not detectable from outside of the Dwelling Unit by sight, sound, smell, vibration or otherwise, or by the existence of signs, and/or deliveries, indicating that a business is being conducted;
- 3.2.3 The business does not result in an undue volume of traffic or parking within the Community;
- 3.2.4 The business conforms to all zoning provisions and is lawful in nature; and
- 3.2.5 The business conforms to all Association and Board rules and regulations and policies and procedures.

3.3 Common Area Maintenance By Owners

Certain areas have been designated as open space, wetland or preserves on neighborhood plats and shall be maintained as required by regulatory authorities and as described in specific permit conditions and in the Declaration.

The following Common Area maintenance functions are NOT approved for Residents. This is not an inclusive list of restricted functions.

- 3.3.1 Spraying of any chemicals including but not limited to herbicides, fertilizers and pesticides
- 3.3.2 Removal or pruning of grasses, shrubs, and trees
- 3.3.3 Watering of any kind
- 3.3.4 Planting of new shrubs, trees, or planted material
- 3.3.5 Addition of new mulch to any of the common area
- 3.3.6 Mowing of any common area
- 3.3.7 Any maintenance functions within property not owned by, but maintained by the Association or community partner

3.4 Dock

The dock is reserved for The Lakes at Centerra Residents and their Guests and is open dawn to dusk; no alcohol or smoking is permitted. Dogs are allowed per leash laws and pick-up regulations. Dogs are not allowed in Houts Reservoir. Fishing is permitted following the High Plains Environmental Center (HPEC) regulations and use restrictions regarding the lakes, which can be found at the HPEC website at www.surbitat.org.

3.5 Garbage/Trash Receptacle And Materials

No refuse, garbage, trash, lumber, grass, shrubs or tree clippings, plant waste, metal, bulk materials, scrap or debris of any kind shall be kept, stored, or allowed to accumulate on any Lot. Compost shall be kept in a suitable container with an attached lid located in a screened area solely for the purpose of composting. All trash, recycling and yard waste receptacles shall be kept within the garage of each Dwelling Unit except on collection days.

3.6 Holiday Seasonal Decor And Lighting

Exterior holiday seasonal décor is restricted to a time period from thirty (30) days before the holiday through ten (10) days after the holiday. Exterior holiday lighting is only allowed from Thanksgiving through the first week of January.

3.7 Kayaks

Use of the Association kayaks are reserved for The Lakes at Centerra Residents and their Guests during the posted hours. A full copy of the regulations and use restrictions regarding kayak use can be found in The Lake Club and Recreational Amenity Use Guidelines.

3.8 Lakes

The Board of Directors of the High Plains Environmental Center (HPEC) will allow limited human contact on Houts Reservoir only. No human contact will be allowed on Equalizer Lake. Neither HPEC, as the surface rights holder, nor Greeley Loveland Irrigation Company (GLIC), as the owner of the reservoir and related water rights, will be under any obligation to maintain water levels or quality to accommodate human contact.

Only non-motorized boats owned by the Association, residents or HPEC will be allowed on Houts Reservoir. No boating is allowed on Equalizer Lake. Residents of The Lakes at Centerra may reserve the use of association kayaks at The Lake Club.

A full copy of the regulations and use restrictions regarding the lakes can be found on the association's website.

3.9 Leases

The term "lease", as used herein, shall include any agreement or arrangement for the occupancy of a Lot of Dwelling Unit on the Lot by a Person other than the Owner or members of the Owner's immediate family, including month-to-month rentals, shorter term rentals, and subleases. Any Owner has the right to lease his Lot, or any portion thereof, under the following conditions:

- 3.9.1 All leases shall be in writing; and
- 3.9.2 All leases shall provide that the terms of the lease and lessee's occupancy of the leased premises shall be subject in all respects to the Governing Documents; and that any failure by the lessee to comply with any of the Governing Documents, in any respect, shall be a default under the lease, enforceable by the Association as a third party beneficiary and in the same manner as if the Association were the landlord.

3.10 Lot Requirements

3.10.1 General Conditions

Each Owner shall, at all times, maintain, repair and replace such Owner's lot, and all improvements on said Lot, including, but not limited to, the Dwelling Unit, landscape and irrigation. Furthermore, if an improvement on a lot should be destroyed in whole or part by fire, hail, windstorm or other act of God, the same shall be rebuilt by the Owner within a reasonable time after destruction, as determined by the Board, and all debris promptly removed by the Owner, so as not to render any such Lot or portion thereof, as determined by the Board, unsanitary, unsightly, offensive or detrimental to any other property or to its occupants.

3.10.2 Damage to Neighboring Properties

If a project causes damage to neighboring property or common area, the Owner is responsible for any necessary repairs or restoration, including, if necessary, all costs incurred in enforcing the obligation. Damage to neighboring properties is a civil matter and will not be arbitrated by the Association.

3.10.3 Landscape Installation Timeline

Each owner shall landscape their front and rear yard, unless installed by the Builder, within one hundred eighty (180) days after acquisition of such lot by such Owner if acquisition occurs between April 1 and October 1; if acquisition does not occur between such dates, then such landscaping shall be installed by such Owner by the following October 1. The Design Review Committee (DRC) may allow reasonable extensions of such period to account for abnormal weather conditions or other constraints on landscape installation.

It is the responsibility of each Owner to ensure that the front and rear yard are kept free of weeds prior to and during landscape installation. Each Owner shall mitigate sheeting water and mud moving from their unlandscaped lot onto neighboring properties.

3.10.4 Project Clean-Up

Owners are responsible for all clean-up of any lot improvement project. All debris, sod, soil, etc. is to be removed and hauled to the proper waste sites, outside of the community. It is prohibited to dump waste in open space, common area, streets, or any property not owned by the Owner.

3.10.5 Spring and Fall Clean-Up

Spring cleanup consists of thorough raking of turf areas to remove winter debris and to promote new growth. Fall cleanup should consist of leaf removal at reasonable frequency. Owners are responsible for both spring and fall cleanup of their lot.

3.10.6 Tree Maintenance

Pruning of trees must be in compliance with horticulture standards. Tree topping, which leaves limbs and branches greater than one-half (1/2") in diameter exposed, will not be allowed. Trees should be spotpruned during the growing season to promote shaping, thinning and to remove branches that interfere with nearby improvements or pedestrian traffic. During the dormant season, trees should be pruned to remove dead, damaged or crossing branches in an effort to develop the natural form of the tree. Dead or diseased trees must be removed or trimmed as soon as discovered, to protect against the spread of disease. Dead or diseased trees, which have been removed, shall be replaced as necessary to maintain the appearance of the lost as approved by the DRC and to meet the minimum landscape requirements set forth. An Owner may not cut down or remove any living tree without the approval of the DRC.

3.10.7 Turf Maintenance

"Turf" means continuous plant coverage consisting of hybridized non-native grasses, or grasses that have not been hybridized for arid conditions that, when regularly mowed, form a dense growth of leaf blades and roots. Turf should be mowed regularly and the turf should be maintained at a height not exceeding three inches (3"). During the spring and fall months, increased mowing is recommended at a shallower mowing to reduce stress on the grass. Walks and driveways must be swept or blown free of grass clippings and kept free of weeds. Walkways and planting beds are to be kept edged to maintain a crisp appearance. Tree rings should be edged and kept free of weeds, either manually or through appropriate post-emergency herbicides. Watering, fertilizing, and aeration should be conducted as necessary to keep the quality and color of turf reasonably consistent with that of neighboring residential lots. Owners shall be responsible to treat turf, planting beds, rock and/or mulched areas as necessary to control broadleaf weeds.

3.10.8 Weed Control

Owners are responsible to ensure their lot is kept free of weeds, which includes but is not limited to, front and rear yard turf, walkways, sidewalk joints, driveways, street and gutter joints, tree rings and planter beds either manually or through appropriate herbicides.

3.11 Nuisances

No nuisance shall be permitted which is visible within or otherwise affects the Community or any portion thereof, nor any use, activity or practice which unreasonably interferes with the peaceful enjoyment or possession and proper use of other Lots in the Community or any portion thereof. As used herein, the term "nuisance" shall include each violation of the Governing Documents, but shall not include any activities of Declarant or a Builder. No noxious or offensive activity shall be carried on upon any Lot, nor shall anything be done or placed on any Lot which is or may become a nuisance or cause unreasonable embarrassment, disturbance or annoyance to others. No Lot may be used for growing, sale or dispensing of marijuana.

3.11.1 No Annoying Lights, Sounds or Odors

No light shall be emitted from any Lot which is unreasonably bright or causes unreasonable glare; no sound shall be emitted from any Lot which is unreasonably loud or annoying; and no odor shall be permitted from any Lot which is noxious or offensive to others.

3.11.2 No Hazardous Activities; No Hazardous Materials or Chemicals

No activities shall be conducted on any Lot, or within Improvements constructed on any Lot, which are or might be unsafe or hazardous to any person or property. Without limiting the generality of the foregoing, no firearms shall be discharged upon any Lot, and no open fires shall be permitted on any Lot, except in a contained barbecue unit while attended and in use for cooking purposes, or within a fireplace and/or fire pit, or except such campfires or picnic fires on property which may be designated for such use by the Association. Further, no hazardous materials or chemicals shall at any time be located, kept or stored in, on or at any Lot except such as may be contained in household products normally kept at homes for use of the residents thereof and in such limited quantities so as to not constitute a hazard or danger to person or property.

3.12 The Lake Club Parking Lot

Parking is available on a first come, first serve basis. No overnight parking is permitted. Parking is at the risk of the vehicle owner or person driving the vehicle. The Association, its Agents, Board of Directors, Insurance Company and Management are not responsible for theft, damage or loss. Handicap spaces are reserved for those displaying the proper license plate or government issued placard.

3.12.1 Towing Policy

Decisions to tow a vehicle from The Lake Club parking lot shall be that of the manager. Effort will be made to contact the owner, prior to towing, except in the case of an emergency. The manager on behalf of the Association, may cause the removal of a vehicle parked within The Lake Club parking lot to be towed if the vehicle is parked in violation of any of the following:

- 1. The vehicle has been issued a notice of parking violation and forty-eight (48) hours have elapsed since the issuance of that notice.
- 2. The vehicle is parked overnight or past the posted hours of operation of The Lake Club.
- 3. The vehicle is parked in a fire lane.
- 4. The vehicle is parked in a manner that interferes with ingress, egress, and access to The Lake Club, handicap access areas, gates, doors, etc.
- 5. The vehicle is parked in a manner that impedes the flow of traffic.
- 6. The vehicle is parked in a space designated for handicapped parking without proper authority or placard/decal.
- 7. The vehicle is parked in any location designated as "No Parking" by either signage, painted curb, or other method of designation.

THE LAKES HOMEOWNER MODIFICATIONS & DESIGN GUIDELINES

3.13 Signage

Signage is restricted per the Declaration, Article 10 – Restrictions, 10.5 Miscellaneous Improvements, and the following additional provisions will apply, unless otherwise restricted by the City of Loveland. Signage erected for the purpose of advertising a home for sale or rent must be removed within five (5) days following the closing of the property, termination of the listing agreement, or signing of the rental agreement.

"No Soliciting", security/alarm notifications and dog warnings shall be limited to placards or stickers not to exceed 75 square inches in size in a window near the front door, or planting bed nearest the front door.

3.14 Trails

The Board of Directors of the High Plains Environmental Center (HPEC) has adopted Regulations for the Use of the Trails within the community and surrounding the lakes.

A full copy of the regulations and use restrictions regarding the trails can be found at the HPEC website at www. surbitat.org.

3.15 Vehicle Parking, Storage and Repairs

No house trailer, camping trailer, boat trailer, hauling trailer, snowmobile, jet ski, boat, or accessories thereto, truck (excluding, except as hereinafter provided, pickup trucks that are 1 ton capacity or less), self-contained motorized recreational vehicle, or other type of recreational or commercial vehicle or equipment, may be parked or stored on any street in the Community, or on a lot unless such parking or storage is entirely within the garage area of any Dwelling Unit for longer than 48 hours.

3.15.1 Commercial Vehicles

A "commercial vehicle" means a vehicle that meets any of the following:

- 1. Is used to transport cargo or passengers for profit or hire; or
- 2. May (but is not required to) contain signage, advertising, or written information on the vehicle or extending from the vehicle; or
- 3. Any vehicle registered with the State Motor Vehicles Department as a "commercial vehicle"; or
- 4. Meets the definition of the City of Loveland ordinances for being a commercial vehicle; or
- 5. Any vehicle that is larger than 1 ton capacity.

3.15.2 Recreational Vehicles

A "recreational vehicle" includes motor homes, conversion vans, pick-up trucks with camper shells, trailers, self-contained recreational vehicles, motorcycles, motorbikes, snowmobiles, jet skis, boats, all-terrain vehicles, and other apparatus intended for use on land, water, or in the air, and the trailers for their transportation.

3.15.3 Abandoned Vehicles

No abandoned or inoperable automobiles or vehicles of any kind shall be stored or parked in the Community except in the garage of a Dwelling Unit. An "abandoned or inoperable vehicle" shall be defined as any automobile, truck, motorcycle, or other similar vehicle, which has not been driven under its own propulsion for a period of seventy-two (72) hours or longer, or which does not have an operable propulsion system installed therein, or which is not then currently registered and licensed, or exhibits other characteristics of being abandoned or inoperable, such as, but not limited to, flattened tires or broken windows.

3.15.4 Repair and Maintenance

No activity such as, but not limited to, maintenance, repair, rebuilding, dismantling, repainting, or servicing of any kind of vehicles, trailers, boats, may be performed or conducted in the Community unless it is done within a completely enclosed structure which screens the sight and sound of the activity from the street and from adjoining property. The foregoing restriction shall not be deemed to prevent the washing and polishing of any motor vehicle, boat, trailer, motor cycle, or other vehicle, together with those activities normally incident and necessary to such washing and polishing on a lot.