# BUILDER DESIGN GUIDELINES

September 30, 2021

A COMMUNICY Community



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### 1.0 CENTERRA OVERVIEW AND COMMUNITY VALUES

A successful planned community depends on setting, view corridors, amenities, environmental sensitivity, and the economic market. A commitment to consistent qualities in the physical appearance of the site, architecture, and landscape is also critical to the success of any community. Achieving a healthy and vibrant image is a primary goal of these guidelines. They advocate a strong and consistent community design vision for Centerra, with architecture and landscaping that is reflective of the Centerra Values established by McWhinney.

To that end, these Design Guidelines have been established to assist homebuilders and designers in developing neighborhoods, buildings, places, and landscapes that are consistent with the Centerra Vision and Values.

### **Centerra Vision and Values**

In an effort to set the standard for all developments in the Northern Colorado Front Range, the overall vision for Centerra starts with its Community Values. These Values provide the basis for each Guideline and Standard in this document:

- Establish a strong relationship with the City of Loveland, its heritage, and the region. Make Loveland's pioneer and agricultural heritage evident in the built environment: in the landscape public spaces, open spaces, water, lakes, architecture, and the overall marketing identity of Centerra. Be part of Loveland, but with a regional benefit and influence.
- Create an identity and a sense of place. Provide everything a regional community has; with a balance and mix of land uses. Create a unique and noticeable

quality experience along I-25 and US 34, while unifying the east and west sides together. Be a gateway to Loveland, Northern Colorado and the Rockies.

- Promote ecological stewardship and environmentally responsive building. Establish a strong and lasting relationship with Centerra's environmental assets. Reinforce Centerra's environmental mission throughout the property. Promote environmental stewardship through education, development requirements, and design guidelines.
- Feature the Colorado experience and lifestyle. Be a small Colorado community with regional amenities. Celebrate the views to the mountain backdrop in the context of the lakes and prairie setting that define Centerra. Emphasize the active and healthy, yet relaxing lifestyle and culture that Colorado is known for.
- Stimulate economic and social vitality. Establish Centerra as the destination of choice to live, work and play in the Northern Colorado Region. Look, Act and Be the Number 1 Community in Northern Colorado. Add value to Centerra and the Loveland Community through land use and development decisions.





### 2.0 DEFINITIONS

References herein to a "builder" or "developer" shall also include the Owner and the Owner's Architect, general contractor, and all subcontractors. References herein to "construction" shall also include any attempt to remodel, enlarge, add-on, alter, repair, convert, or otherwise improve (including demolition) any building(s) or other improvement(s) (including fences, landscaping, etc.).

Article 6 of the Covenants contain various specific and detailed concepts and definitions. For the reader's convenience, some of the concepts and definitions which fully appear within the Covenants will also be used within these Guidelines and have been further defined as follows:

- "Applicant" shall mean the Owner or Owner's designated representative of a Lot.
- "Association" shall mean and refer to the The LAKES at CENTERRA COMMUNITY ASSOCIATION, INC., an existing non-profit Colorado corporation which has the power, duty, and responsibility of maintaining and administering certain portions of the Properties and all of the Common Properties, administering and enforcing the Covenants and otherwise maintaining and enhancing the quality of life within The LAKES at CENTERRA.
- **"Board"** shall mean and refer to the Board of Directors of the Association.
- "Common Properties" shall mean and refer to any and all areas of land within the Properties which are known, described, or designated as common green, common areas, parks, recreational easements, lakes, ponds, dams, perimeter fences and columns, off-site monuments and directional signs, landscape easements, greenbelts, swimming pool(s), open spaces, and paths and trails, including without limitation those shown on any recorded subdivision plat or portions of the Properties as well as those not shown on a recorded subdivision plat but which are intended for or devoted to the common use and enjoyment of the Members of the Association, together with any and all improvements that are now or that may hereafter be constructed thereon.
- "Covenants" shall mean and refer to the "Master Declaration of Covenants, Conditions, Restrictions, Easements, Charges and Liens," and all Supplements and Amendments thereto, applicable to The LAKES at CENTERRA.
- **"Declarant"** shall mean and refer to C R Development, Inc., a Colorado corporation, and any other Person(s) to whom the Declarant, by recorded document, expressly assigns one or more of the Declarant's rights under this Declaration (which shall be the extent of the Declarant's rights to which such assignee succeeds).

- **"Design Review Committee"** ("DRC") shall mean and refer to that particular committee which is described and explained within Article 6, DESIGN REVIEW COMMITTEE, of the Covenants for The LAKES at CENTERRA.
- **"Dwelling Unit"** shall mean and refer to any building or portion of a building situated upon the Properties which is designed and intended for use and occupancy as a residence by a single person, a couple, a family or a permitted family size group of persons.
- "Greenway Frontage" shall mean and refer to parks, schools, community facilities, common green space, recreational facilities, lakes, hike-and-bike trails, etc., which are adjacent to rear or side yard Lot lines and/ or clearly visible from public streets, sidewalks and rights-of-way.
- **"Improvement"** shall mean any physical change to raw land or to an existing structure which alters the physical appearance, characteristics or properties of the land or structure, including but not limited to adding or removing square footage area space to or from a structure, painting or repainting a structure, or in any way altering the size, shape or physical appearance of any land or structure.
- **"Lot"** shall mean and refer to each separately identifiable portion of the Assessable Property, including any condominium unit, which is platted, filed and recorded in the office of the County Clerk of Larimer County, Colorado and which is assessed by any one or more of the Taxing Authorities and which is not intended to be an "open space" or a portion of the Common Properties.
- **"Master Design Guidelines"** "Guidelines" shall mean and refer to those particular standards, restrictions, guidelines, recommendations and specifications applicable to most of the aspects of construction, placement, location, alteration, maintenance and design of any improvements to or within the Properties, and all amendments, bulletins, modifications, supplements and interpretations thereof.
- **"Owner"** shall mean and refer to the holder(s) of record title to the fee simple interest of any Lot whether or not such holder(s) actually reside(s) on any part of the Lot.
- "Phase" shall mean and refer to each and every portion of a Village which is the specific subject of a subdivision plat. As an example, \_\_\_\_\_ are two separate Villages each of which is subdivided and platted in two or more phases in accordance with subdivision plats bearing their respective name and phase number.
- **"Properties"** shall mean and refer to land within the The LAKES at CENTERRA development.

- "Structure" shall mean and refer to: (1) any thing or device, other than trees, shrubbery (less than two feet high if in the form of a hedge) and landscaping (the placement of which upon any Lot shall not adversely affect the appearance of such Lot) including but not limited to any building, garage, porch, deck, shed, greenhouse or bathhouse, cabana, coop or cage, covered or uncovered patio, swimming pool, play apparatus, fence, curbing, paving, wall or hedge more than two feet in height, signboard or other temporary or permanent living quarters or any temporary or permanent improvement to any Lot; (2) any excavation, fill, ditch, diversion dam or other thing or device which affects or alters the flow of any waters in any natural or artificial stream, wash or drainage channel from, upon or across any Lot; and (3) any change in the grade of any Lot of more than three (3) inches from that of the Subdivision Grading Plan.
- **"Subdivisions"** shall mean and refer to all subdivisions within The LAKES at CENTERRA development which are intended to be a portion of the Properties. As an example, each and all of the Phases of \_\_\_\_\_ are each separate and distinct residential Subdivisions within The LAKES at CENTERRA.
- **"Subdivision Grading Plan"** shall mean and refer to the lot grading plan for each Subdivision on record with the City of Loveland.

### 3.0 ARCHITECTURE

- **3.1 General.** An important community value for Centerra is celebrating the heritage of the region and the Colorado outdoor lifestyle. Home designs should be inspired by the historic indigenous architectural styles of the area including, but not limited to, farmhouse, craftsman and prairie style. All homes shall have "four-sided architecture", including side and rear lower levels of houses with walk out basements, meaning all elevations must have equal attention to massing, articulation, materials, colors and detailing.
- **3.2 Product Segmentation.** The ability to attract a variety of homebuyer demographics depends on the successful implementation of a carefully planned product segmentation strategy. Maintaining the differentiation between the product segments is critical. Defining factors include, but are not limited to, house price points, lot sizes, house sizes, floor plan designs, etc. The following chart lists the allowed ranges of square feet for townhomes and houses within each of the product segments at The Lakes. See Figure 3.1.
- **3.3 Masonry.** Masonry includes clay brick, natural and artificial stone. All clay brick must satisfy the ASTM Standard Specifications for Facing Brick Solid Masonry Units Made From Clay or Shale (ASTM Designation C-216) applicable to Grade SW. The DRC shall, in its discretion, have the right to require that any proposed brick be accompanied by manufacturer specifications, or reputable independent laboratory test results, evidencing compliance with the ASTM specifications. All masonry used is subject to specific DRC approval concerning color, style, and texture.
- **3.4 Siding.** Acceptable siding material includes Hardiplank or equal in a traditional horizontal lap or shake style or other materials and styles as approved by the DRC. Prohibited siding includes unadorned MDO and plywood sheathing, non-cementuous wood, and T-III panels.
- **3.5 Material Changes.** Materials and details on elevations must "return" the same material and details around all outside corner conditions. Changes in materials shall happen at interior corner locations unless specifically approved by the DRC.
- **3.6 Exterior Colors.** Streetscapes are intended to have variety and interest with a carefully selected palette of colors. Rich, deep earthtone colors are required. Primary and pastel colors are strongly discouraged. Use of off white, beiges and tans will only be allowed on a limited basis. Houses shall have a minimum of 3 different colors for siding, trim and accent/door.

Exterior color schemes may not be repeated side-byside and should not be used on more than 20% of any group of homes all on the same side of a street in any given block (meaning, for example, that if ten homes



face Oak Street on a block bordered by A Street on one end and B Street on the other end no one exterior color scheme could be used more than twice). A color scheme is comprised of a body color, a trim color and an accent color. Stone or brick, if part of the exterior detail, is not restricted

- 3.7 Roof. The minimum roof pitch allowed for residential dwellings shall be a 5:12 pitch for the primary roof. Accessory/secondary roofs over dormers, porches, etc. may have a minimum 3:12 pitch. Other roof pitches may be approved on a case by case basis by the DRC. Acceptable roof materials shall include standing seam metal, copper and architectural grade high profile composition shingles with a minimum 30 year warrantee. Roof colors shall be specifically approved with the individual color palettes for the houses. Other roof materials must be specifically approved by the DRC. Roof vents, vent stacks, galvanized roof valleys and any other roof item must be painted to match the roof materials. Whenever possible, roof vents should not be located on the front elevation. All galvanized metal must be primed prior to being painted. Downspouts shall not direct water flow onto adjacent properties. Downspouts shall be shown on the architectural elevations, shall be discreetly located and shall be painted the color of the adjacent wall or trim material as appropriate.
- **3.8 Repeating Floor Plans and Elevations-Single Family Detached.** All floor plans should have at least 3 different front elevations unless specifically approved by the DRC. Different means more than cosmetic or window shape changes. Different is defined as changes in roof-line, massing, garage orientation, porch configuration, dormer or bay window features etc. Same elevations shall not be repeated on adjacent lots.

Regardless of elevation differences, the same floor plan shall not be used on more than two lots in a row. This means there should never be a consecutive row of adjacent lots (on the same side of the street) with three houses of the same floor plan.

The same elevation may not be built in a condition where the front doors directly face one another (i.e., one directly across the street) unless the street separating the facing lots features a dividing element (e.g., a parkway or a round-about) such that the facing lots are more than a single street width apart.

Vertical articulation is encouraged, but not mandated. Single level homes interspersed with multi-level homes is desired, but not mandated so long as the mix of homes along any block is comprised of architectural details that that are distinctively different and create a street scape that accentuates variety. In the case of patio homes, it is anticipated that the majority of homes will be ranch style.

- **3.9 Front Porches.** All houses are required to have a front porch and a rear deck or patio. Floorplans should be designed to promote the indoor-outdoor livability of the home by incorporating meaningful and useable outdoor areas. Front porches shall be a minimum of 6' wide x 6' deep that is clear space measured in both directions from the inside of railings and columns to the face of walls unless otherwise approved by the DRC. Porches and decks shall use materials and colors similar to those of the principal structure and shall be integrated into the selected architectural style of each structure. To accomplish this, consider the following techniques:
  - a. incorporate similar forms and detail (i.e. roofs, arbors/trellis, engaged columns, etc.)
  - b. use compatible material and colors.
- **3.10 Side/Rear Covered Patios and Decks.** Whenever possible, covered roofs for patios and decks should be incorporated into the architecture of the house.
- **3.11 Porch and Deck Support Columns/Posts.** Columns and posts supporting porch roofs, covered patios, shade structures, second level decks etc. shall be designed to architecturally integrate with the style of the house. Front porches shall have concrete floors integrated with the foundation of the house. Rear Porches and Decks elevated 4'-0" or more above grade shall have columns/support posts that are a minimum of 12" x 12" size unless specifically approved by the DRC. No elevated porch or deck shall exceed 10'-0" above grade excluding cantilevered balconies.
- **3.12 Exposed Foundations.** Plain concrete foundations shall not exceed any exposure greater than 18" vertically. Concrete front porch foundations shall incorporate a coping detail as shown in Figures 3.2.
- **3.13 Front Entry Garages.** Garages should not be the dominant architectural feature on the house. On corner lots the garage should not be located on the street side of the house. Garage doors should be painted to match the primary siding color of the house or as specifically approved by the DRC. Front and side entry garages should be interspersed to provide variety in the streetscape.

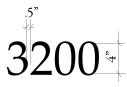
The Millennium GDP has specific garage criteria for lots less than 65' in width.

For lots greater than 65' in width, houses shall have side loaded and split garage configurations. Front loaded garages may be approved on a limited basis by the DRC if the garage doors are set back from the front of the house or the porch by a minimum of 4'-0" and the third car garage is further offset by another 2'-0".

**3.14 Dormers.** Dormers, when used, should be functional or appear as such, and be accessible from the interior

of the home. For dormers with windows larger than 2'-0" by 2'-0", the interior walls and ceiling shall be finished (taped, bedded, textured and painted) to appear as a room from the exterior. Alternative methods to "blacked-out" windows may be approved by the DRC on a case by case basis. For dormers with Low E type windows 2'-0" by 2'-0" in size or smaller, the interior walls, ceiling, trusses, etc. may be painted black. When possible it is encouraged that the dormers provide natural light into the home's interior. Dormer windows which are painted black (or other dark color)or have a tinted film applied are prohibited.

- **3.15 Shutters.** Exterior shutters, when used, must be operable or appear as such. Shutter size and proportions must visually equal the window or door opening size as if to cover the opening when "closed".
- **3.16 Address Numbers.** Each house is required to have black address numbers or as otherwise specifically approved by the DRC and to be mounted on a conspicuous surface near the front door or front facing garage door.



4" tall x 1/4 thick Numbers Aluminum Powdercoated finish (black or white)

General Notes:

- a. Address Numbers shall be placed in a prominent location easily visible from the public street.
- b. Locate either above the garage door(s) or near the front entry door.
- c. Numbers shall be Palatino Linotype typeface.
- d. Center Numbers horizontally above garage door and center vertically between top of garage door and eave.
- e. Offset Numbers a minimum of 1 inch from front door jamb; install at a minimum of 3'-6" from ground/top of front porch.
- **3.17 Solar Collectors.** Solar Collectors must be integrated into the design of the house to fit flush with the wall or roof surface of the structure. Frame color of the unit must match or blend with the adjacent surface.
- **3.18 Mechanical Equipment.** All utility meters, equipment, air conditioning compressors, transformers, etc. must be visually screened (so as not to be visible from any street or Common Property) with shrubs and shall not be located in front yards. All mechanical equipment and vents attached to the wall of the house shall be painted to match the color of the adjacent wall. All electrical wiring services must be located under-

ground. Window and wall mounted air conditioning units are prohibited.

- 3.19 Evaporative Coolers. Rooftop coolers are prohibited.
- **3.20 Satellite Dishes.** All dishes over one meter in size are prohibited. Dish must be professionally installed. The maximum amount of visible wiring allowed is 4. Locate the dish to receive optimum signal while minimizing visual impact from public roads. Dishes on the front elevation are strongly discouraged.
- **3.21 Garbage/Trash Receptacles.** All garages must be designed large enough to store the required trash, recycling and yard waste bins provided by the City of Loveland in addition to the homeowners' vehicles. Minimum space of 3' x 8' is required for receptacles inside the garage. All garbage/trash receptacles used for home building construction must have coverings/lids/tarps.

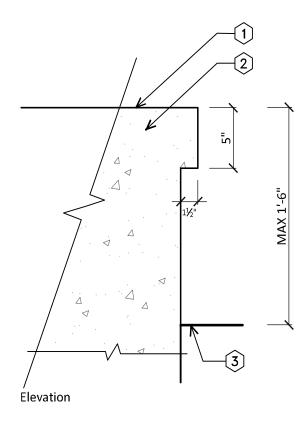
## FIGURE 3.1 Product Segmentation See Section 3.2 for Details

Product Segmentation						
Product	Lot Size	House Size Range in SF				
Townhome	24 - 45 x 62	1455-1800				
Lifestyle Patio	50 x 110	1800-2000 Plus Avg 800-1200 Fin Basement				
Luxury Patio	70 x 110	2100-2500 Plus Avg 1000-1200 Fin Basement				
SFD - 35' Wide Product	45 x 105	1380-2585				
SFD - 40' Wide Product	50 x 110	1900-2550				
SFD - 50' Wide Product	60 x 110	2400-3200				
SFD - 60'+ Wide Product	75-80 x 120	2400-3600				



### FIGURE 3.2 -Concrete Porch Foundations See Section 3.12 for Details





- 1 TOP OF PORCH
- (2) CONCRETE PORCH FOUNDATION
- 3 FINISH GRADE

**COPING DETAIL** 1 1/2" = 1'-0"

[CONCRETE PORCH FOUNDATIONS]

### 4.0 SITE

**4.1 Excavated Basements.** Excavated garden and walk out basements are prohibited. See Figure 4.1. Lots must maintain the City approved grading plan per the approved Subdivision Grading Plan.

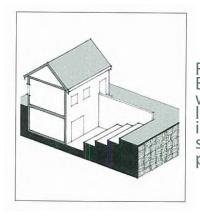


FIGURE 4.1 Excavated walkouts similar to the one illustrated here shall not be permitted.

- **4.2 Drainage.** Each builder in THE LAKES at CENTERRA is responsible for following the City of Loveland Approved Subdivision Grading Plan. Any deviations from this grading plan must be shown on the preliminary and final Building Permit plans and approved by both the DRC and the City of Loveland. Finished grades shall not direct water flow onto adjacent properties. Anytime a site is altered, it is the builder's responsibility to provide the retainage. Retaining walls are only to be constructed of Loveland/Masonville Buff sandstone or equal. If side yard retaining walls are not desired, a maximum slope of 4:1 must be achieved between the foundation slab and the side yard property line. Gutters and downspouts are required for all roof drainage. Concentrated/piped drainage shall not be directed onto adjacent property.
- **4.3 Front Entry Sidewalks.** Sidewalks from the front door of the house shall connect directly to the sidewalk adjacent to the street and shall not just connect to the driveway unless specifically approved by the DRC. See Figure 4.2.
- **4.4 Mailboxes.** Individual mailboxes are not permitted. The United States Postal Service requires group mail boxes.
- **4.5 Utilities.** Improvements situated on a Lot shall be connected to the water and sewer lines as soon as practicable after same are available at the property line. Cesspools and/or septic tanks shall not be placed or maintained upon or in any Lot. The installation and use of any propane, butane, LP gas or other gas tank, bottle or cylinder of any type (excluding those normally associated with outdoor barbecue grills), shall require the prior written approval of the DRC. All telephone, electric, cable or other service lines shall be installed underground and shall meet all requirements of the City of Loveland, Colorado.

- **4.6 Exterior Lighting.** The Lakes at Centerra prohibit glare and light pollution. No uplighting is allowed. All exterior light fixtures must be full cut off, fully shielded type. Low wattage decorative and "candle" type fixtures may be approved by the DRC on a case by case basis. Floodlights and walls packs are not allowed. High pressure sodium lights are not allowed. Low level landscape lighting should not exceed 500 watts total. Except for holiday seasonal lights (which are appropriate from Thanksgiving through the first week of January), colored lights are not permitted. Site lighting and exterior house lighting on lots adjacent to environmentally sensitive areas will be reviewed on a case by case basis.
- **4.7 Front Yard Lamp Posts.** Every Single Family Detached lot shall include the front yard post light fixture as specified in Figure 4.3. There are two approved options. Fixture must include a photo cell. The post shall be located next to the front sidewalk or driveway and shall be installed 6'-6" from the back of the attached sidewalk along the street. See Figure 4.4 The height for the lamp fixture at the top of the post shall be 5'-6". The lamp post shall be installed with a concrete footing a minimum of 9" diameter width by 1'-6" depth.
- **4.8 Pools.** Pools and associated decks shall be located in the rear yards of the Lot and shall not encroach any easements or be located within 5' of any property line. Pool equipment must be fully screened on all sides with a 6' cedar privacy fence and located adjacent to the dwelling unit. Above ground, masonry block, and pneumatic pools are not allowed. Completely inground vinyl clad concrete pools are required to have a brick, cast stone or natural stone coping and ceramic tiled water line. Construction access is permitted only across the Lot on which the pool is to be constructed. All excess soil shall be removed from the Properties and properly disposed of. Pool overflow may not be directed onto adjacent Lots or the Common Properties. Installation of pool structures and associated decks, retaining walls, landscaping, fencing, etc., shall not alter or impair the surface drainage on adjacent Property.
- **4.9 Retaining Walls.** Retaining walls shall be constructed of Loveland/Masonville Buff sandstone or equal and shall be limited to 4'-0" in height unless it can be shown that site conditions justify a taller wall. Wood or railroad ties are not allowed for retaining walls. Retaining walls greater than 4' 0" in height shall be designed by a licensed Professional Engineer in the State of Colorado. Retaining walls shall not alter or impair the drainage across adjacent properties.
- **4.10 Rear and Side Yard Lot Posts on Common Areas.** In order to clearly mark the boundary between lots and community common space, a lot post as specified



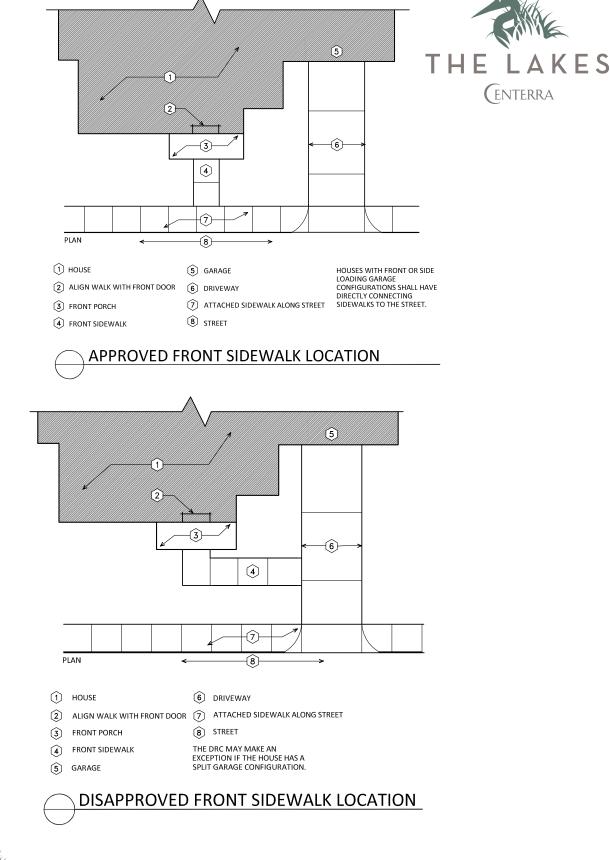
in Figure 4.5 shall be installed by the initial builder adjacent to all the surveyed lot pins on the common space side of the pins. Lot posts are not required where perimeter open fencing exists.

**4.11 Outdoor Fireplaces and Barbecue Pits.** Permanent outdoor fireplaces and barbecue pits shall be finished with masonry, brick and/or stone and shall blend with the masonry material used on the house.

Fireplaces and pits shall be located in the side yard, rear yard or in front yard functional outdoor courtyard living areas. Fireplaces and pits shall be located within the building envelope established for the house. They may not encroach any easement or alter the surface drainage on the lot per the Subdivision Grading Plan.

These structures should be in scale with and integrated into the design of the house structure, deck and/or landscape areas and shall be sited in consideration of neighboring properties.

The maximum height for fireplaces, excluding chimneys, shall not exceed eight feet (8'-0"). Height of the chimney shall be as required for operation and code compliance.



### FIGURE 4.2 - Approved Front Sidewalk Location

## FIGURE 4.3 - Front Yard Lamp Post See Section 4.7 for Details

### **OPTION 1**



### Front Yard Light Fixture

### Fixture Head Option 1- Craftmade Z4415-OBG

Description: Union 1 Light 21 Inch Oiled Bronze Gilded Outdoor Post Light, Medium Family: Union Dimensions: 12"W x 21.13"H x 15.25" Ext. Glass/Shade: Oiled Bronze Gilded, 10"H x 12"W Lamping: (Watts/Bulb): 1x100 watts E26 \*LED Bulbs Required\* Finish: Oiled Bronze Gilded https://www.craftmadelightinglights.com/product/craftmade-union-post-lights-accessories-z4415-obg.html?page=1

### Fixture Head Option 2 - Minka Group 8126-A188-PL

Description: 1 Light Post Mount in Windsor Rust Finish with Double French Scavo with Twist and Lock Glass Family: Vanira Place Dimensions: 12"W x 15 3/4"H x 16" Ext. Glass/Shade: Double French Scavo with Twist and Lock Glass Lamping: (Watts/Bulb): 1-13W GU24 Spira CFL Finish: Windsor Rust http://www.minkagroup.net/ProductDetails.aspx?id=18621

### Fixture Post - Craftmade Z8792-07

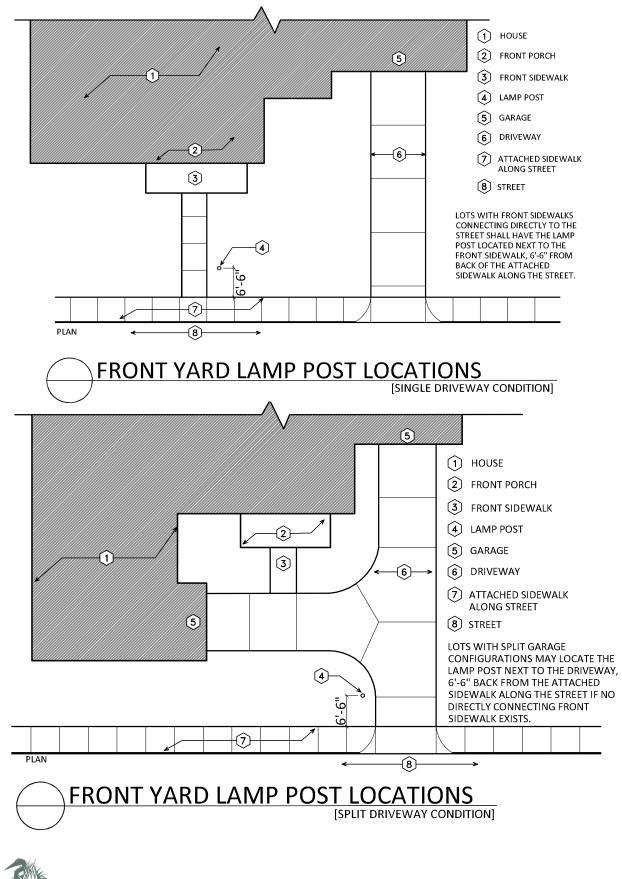
Description: Smooth Post with Photo Cell, Rust Finish Dimensions: 84" Height, 15.75" Diameter http://www.1800lighting.com/Craftmade/item.cfm?itemsku=Z8792-07#



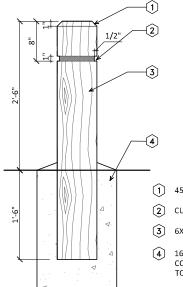
### Front Yard Light Post



## FIGURE 4.4 -Front Yard Lamp Locations See Section 4.7 for Details



## FIGURE 4.5 -Lot Post Details and Locations See Section 4.10 for Details





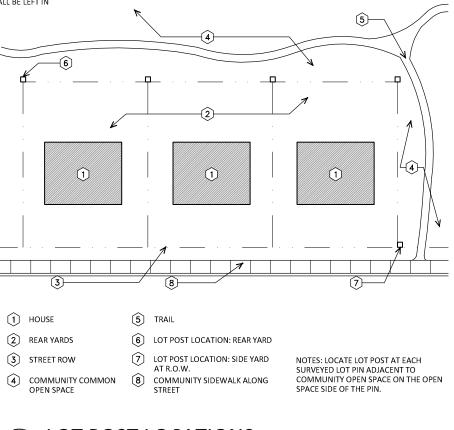
3 6X6 ROUGH SAWN CEDAR POST

16" DIAMETER POST HOLE FILL WITH CONCRETE (SLOPE TOP OF CONCRETE TO DRAIN AWAY FROM POST)

NOTES: 1. ALL WOOD TO BE CEDAR. 2. NO STAINING OR CLEAR COAT SEALING IS ALLOWED. ALL LOT POSTS SHALL BE LEFT IN NATURAL COLOR.







LOT POST LOCATIONS [AT ALL LOT CORNERS ADJACENT TO COMMUNITY OPEN SPACE]

### 5.0 FENCING

Open views throughout the neighborhood are extremely important to the natural character of the community. Fences are optional on any Lot. Two fence styles are allowed in The LAKES at CENTERRA. The first is a cedar open three-rail style that may be used in side and rear yards for perimeter fencing. The second is a solid privacy fence/wall that may only be used in limited applications on the rear elevation of the house to provide privacy for spas, hot tubs, patios, etc. and in conjunction with front yard functional outdoor courtyard living areas. Privacy fences are prohibited from use as any type of perimeter lot fencing. Side yard fences shall be set back a minimum of 4' 0" from the front facade of the house. Fences that front on a public street must have continuous landscape plantings of shrubs, ornamental grasses, perennials etc. on the street side of the fence.

**5.1 Open Fencing Criteria.** Open fencing enhances the views to and from amenity areas such as lakes and open spaces while still containing pets and children. All open fencing shall comply with the details in Figures 5.1-5.3.

Heights. Fence height shall not be greater than necessary for its intended use. Fence heights shall be a maximum 4'-0".

Location. Fence placement is subject to various restrictions relative to location. The following basic rules shall be adhered to:

- a. Fencing (in its entirety) is solely restricted to the Owner's property. Fences shall not encroach into any public street right-of-way (ROW) or designated open spaces.
- b. Fencing shall NOT be placed in the front yard and shall be set back a minimum of 4'-0" from the front façade of the house.
- c. Fencing on a side yard on corner lots with secondary street frontage shall be set back a minimum of 4'-0" from the adjacent attached sidewalk along the street. The 4'-0" setback between the fence and the sidewalk shall be irrigated and continuously landscaped with shrubs, ornamental grasses or other landscaping that is a minimum height of 2'-0" at growth maturity.
- d. Open fencing may be used along the perimeter of the Lot in the rear and interior side yards. Open fencing shall be located outside all public ROW's and site triangles.
- e. If mesh is desired by the owner to be installed with fencing, it must be wire mesh (no chicken wire) with dimensions of 2"x2" or 2"x4".
- f. Double fencing is prohibited.
- g. Fencing installed along property lines where retaining walls exist shall be located on the high side of the wall.
- h. Lots with rear yards adjacent to community common open spaces shall include a gate as detailed in

Figure 5.3 on the rear property line for access to and maintenance of the fence.

Materials. Open fences shall be rough sawn cedar. Dimensional and pressure treated lumber is strictly prohibited.

Color and Finish. All cedar for open fences shall be left in its natural color. No staining, clear coating or sealing is allowed.

Easements. If an easement occurs within a property, it is to be maintained by the property Owner. Fence construction within any easement is at the risk of the homeowner. Fences shall not obstruct lot drainage easements.

Submittal Requirements. Scaled site plan showing existing structures, proposed fence location, proposed gate location and type of fence.

**5.2 Privacy Fencing Criteria.** Privacy fences and walls shall be allowed on a very limited basis. Their function is to help screen selected personal areas from neighboring and public view.

Heights. Fence/wall height shall not be greater than necessary for its intended use. Fence/wall heights shall be a maximum of 6'-0" (as measured from the finished grade).

Location. Fence/wall placement is subject to various restrictions relative to location. The following basic rules shall be adhered to:

- a. Privacy fencing/walls are limited to the rear yard and the front yards in conjunction with a functional outdoor courtyard living area.
- b. Privacy fencing must be attached to the dwelling, located within the building envelope of the Lot and not encroach into any building setbacks.

Materials.

- a. Privacy fences/walls should be designed as an architectural extension of the dwelling and be of the same materials and colors.
- b. Unacceptable and Prohibited Materials (not all inclusive)
  - Lattice panels
  - Sheet or expanded metal and stamped metal posts
  - Plastic, PVC or fiberglass (corrugated, flat or woven)
  - Rope, bamboo, or reed

Color and Finish. Finishes should be applied to all sides of the fence/wall and colors shall match the dwelling.

Submittal Requirements. Scaled site plan showing existing structures, proposed fence/wall location, details of design, type of materials, finish, color, and height.



**5.3 Pet Enclosure/Dog Run Criteria. (Excluding Patio Homes by Boulder Creek Neighborhoods)** Pet enclosures shall use the cedar three rail open fence design with the welded wire mesh option applied to the inner side of the fence. See Figures 5.1-5.3 for fencing details and specifications. One pet enclosure is allowed for each single family detached lot.

Location. Based on lot sizes, pet enclosures are restricted to the rear or side yards as follows:

45' wide lots - rear yard

50' wide lots - rear yard

60' wide lots - rear yard

75' or wider lots - rear or side yard

Pet enclosures shall abut the dwelling on the lot.

Size. The maximum size for a pet enclosure shall be 300 square feet.

Materials. Pet enclosures shall contain appropriate ground cover including gravel, mulch, crusher fines, etc.

**5.4 Pet Enclosure/Dog Run Criteria for Boulder Creek Neighborhoods' Lifestyle Patio Homes.** Pet enclosures shall use the Active Yards - Granite style aluminum picket fence "Home Series" in the Pewter color. See figure 5.4, and 5.5 for fencing details. One pet enclosure is allowed for each Lifestyle Patio Home lot.

Location: Rear yard only and shall abut the dwelling unit. Fences shall be setback from the property lines as follows:

- a. Fencing shall not encroach into the side yard beyond the side of the home
- b. Minimum 10' 0" from any rear property line.

Size: Pet enclosures shall have maximum dimensions of 10'-0" deep by 25'-0" wide and be adjacent to the rear of the dwelling unit with the following exception:

a. The above dimensions may be exceeded if necessary to enclose an area beneath a raised deck or to include deck to ground stairs.

Materials. The optional welded wire mesh shall be attached to the inner side of the fence. Pet enclosures shall contain appropriate ground cover including, gravel, mulch, etc. **5.5Townhome Front Yard Fencing.** Attached townhomes are, by nature, very different from single family detached homes. The outdoor living area including decks, patios and countyards are located in the front and, for end units, the side yards. Fencing for townhomes should blend with the architectural style of the buildings. All townhome fencing shall comply with the details in Figures 5.6.

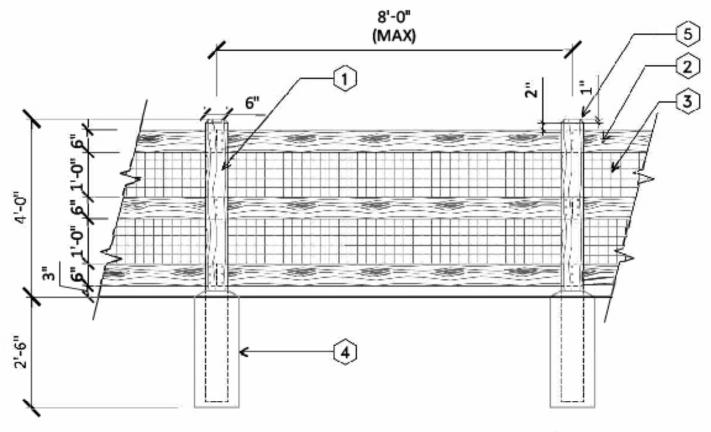
Height: Maximum 4'-0"

Location: As specified on the DRC approval plot plan for each townhome building.

Materials: Active Yards - Granite style "Home Series" aluminum picket fence.

Color/Finish: SolarGuard color retention technology - Pewter color.

## FIGURE 5.1 - Cedar Rail Fence OUTSIDE See Section 5.0 for Details



Elevation

- 6x6 CEDAR POST (ON OUTSIDE OF FENCE RAILS -NEIGHBOR'S SIDE, STREET SIDE, OPEN SPACE SIDE)
- 2x6 CEDAR HORZ. FENCE RAIL
- 3 2"x2" or 2"x4", 12 GAUGE, GALVANIZED WIRE MESH -OPTIONAL (INSIDE OF FENCE)
- 12" DIA. POST HOLE FILL WITH CONCRETE (SLOPE TOP OF CONCRETE TO DRAIN AWAY FROM POST)
- (5) 45° CHAMFER

NOTES (APPLY TO ALL FENCE/ GATE DETAILS): 1. ALL WOOD TO BE CEDAR 2. NO STAINING OR CLEAR COAT SEALING IS ALLOWED. ALL FENGING SHALL BE LEFT IN ITS NATURAL COLOR. 3. MESH SHALL BE PLACED ON THE INSIDE OF RAILS -HOUSE SIDE AND SHALL NOT EXTEND ABOVE THE TOP RAIL. "CHICKEN WIRE" IS PROHIBITED. ATTACH WITH GALVANIZED 'U' NAILS

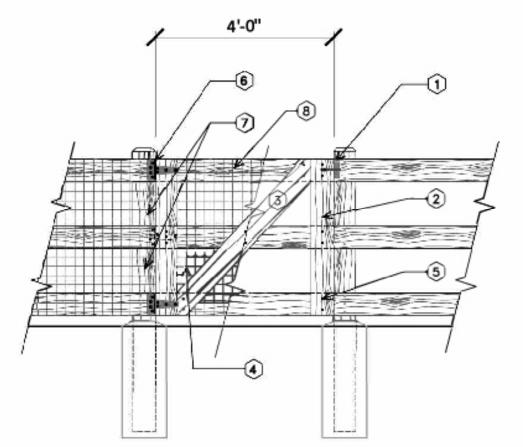


# FIGURE 5.2 - Cedar Rail Fence INSIDE See Section 5.0 for Details THE LAKES ENTERRA

- 6X6 CEDAR POST WITH 45\* CHAMFER AT TOP
- 2 CENTER BUTT JOINT ON POST
- (3 MIN.) #8 2 1/2" DECK SCREWS -TYP. (DECK MATE "PLUS EVERCOTE" -TAN COLOR). AVAILABLE THROUGH: HOME DEPOT 1-800-466-3337 (OR) HOMEDEPOT.COM
- (4) 2x6 CEDAR HORZ. FENCE RAIL
- USE 16' RAILS AND ALTERNATE JOINTS SO ALL 3 RAILS DO NOT BUTT JOINT AT EACH POST.
- 6 2"x2" or 2"x4", 12 GAUGE, GALVANIZED WIRE MESH - OPTIONAL (INSIDE OF FENCE)



FIGURE 5.3 - Cedar Rail Fence Gate - INSIDE See Section 5.1g for Details



- GATE LATCH (#76-3825-C D1261) HEAVY GAUGE, SELF-LATCHING ACTION AND LOCKABLE WITH 1/2" CLEAR BETWEEN GATE AND POST
- (2) 2X6 CEDAR VERT. GATE FRAME MEMBER
- 3 2X6 CED AR GATE BRACE RAIL
- 2"x2" or 2"x4", 12 GAUGE, GALVANIZED WIRE MESH-OPTIONAL (LOCATE BETWEEN HORZ. RAIL AND FRAME MEMBER / BRACE RAIL)

- (5) (2) #8 2 1/2" DECK SCREWS TYP. (SEE FENCE NOTE)
- (2 MIN.) T-HINGE (#908-6-US2C) 6", HEAVY GAUGE
- 7 2X6 CEDAR BLOCKING AT GATE WITH MESH OPTION
- 8 2X6 CED AR HORZ. GATE RAIL

### NOTES:

1. ALL GATE HARDWARE SHALL BE ZINC PLATED STEEL 2. HAR DWARE AVAILABLE THROUGH: STANLEY HARDWARE PRODUCTS 1-800-346-9448 (OR) STANLEY HARDWARE.COM

# CEDAR RAIL FENCE GATE - INSIDE



(HOUSE SIDE)

### FIGURE 5.4 - Patio Homes Dog Run Fence Specifications See Section 5.4 and 5.5 for Details



### You're protected



You can feel good about the fact that all of our products are made right here in the United States. From our plants to our components and materials, all of our fencing solutions are 100% domestically produced. We use only the finest materials and back all of our products with a transferable Limited Lifetime Warranty. For more information and a detailed copy of our full warranty, please visit us at www.activeyards.com.

## FIGURE 5.5 - Patio Homes Dog Run Layout See Section 5.4 for Details

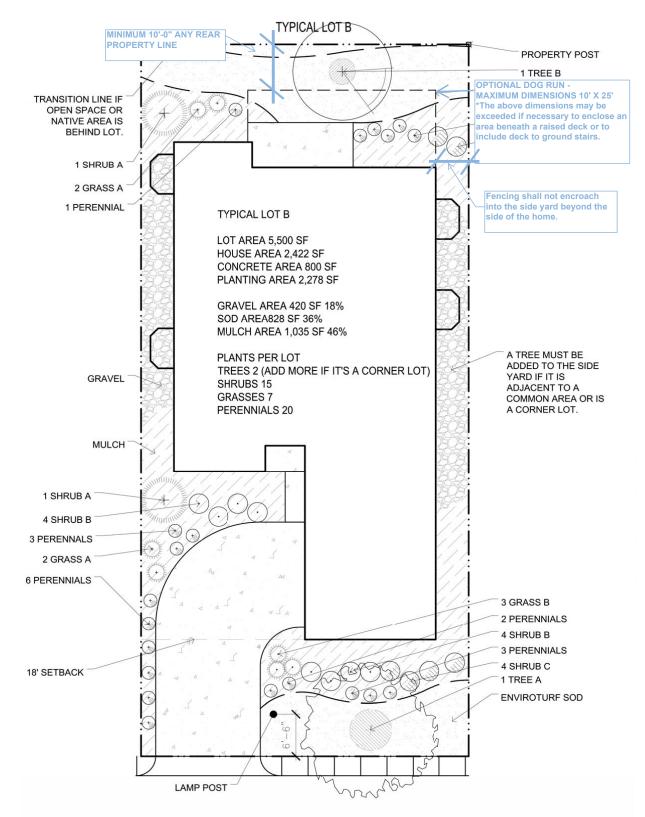
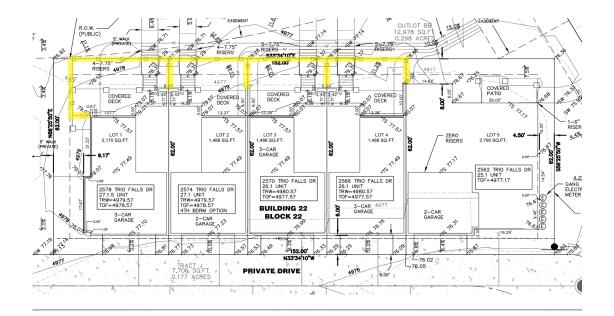
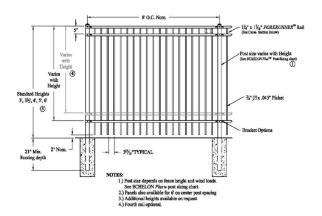




FIGURE 5.6 - Townhomes Fence Details See Section 5.5 for Details







Type 1- Black Ornamental Iron - 4' Fence and Gate

### 6.0 LANDSCAPING AND IRRIGATION

- The LAKES at CENTERRA community is planned as an environmentally responsible community. Principles of sustainability and water-wise landscaping should be incorporated into the selection of plants and materials, design and maintenance of the landscape.
- 6.1 Timeframe for Installation. The Lot must be fully landscaped by the end of the first planting season following the date of Certificate of Occupancy (CO) for the house, but in no event more than 9 months following the date of CO.
- 6.2 Zones. Plants of like watering needs should be grouped together in zones to allow for the most efficient watering.
- 6.3 Landscape Palette Recommendations. All introduced vegetation within The LAKES at CENTERRA shall be trees, shrubs, vines, ground covers, seasonal flowers or turf grasses which are commonly and successfully used in Northern Colorado for landscaping purposes. Xeriscape design is strongly encouraged. Figure 6.2 is the list of approved plants for landscaping in The LAKES at CENTERRA. Colorado State University Plant Select List is also an approved resource for plants.
- 6.4 Turf Limitation. No more than 45% of the total landscaped area of any Lot shall be irrigated turf.

- 6.5 Water Use. No landscape zone should be designed to require more than 22 inches of supplemental irrigation water in an average year (about 18 gallons/square foot during the growing season) which is the equivalent to what tall fescue grasses need to thrive in the region. Hydric (moisture-loving) plants should only be planted in depressions where they will naturally more moisture from the existing drainage pattern.
- 6.6 Backfill Zone. Plants and irrigation systems are prohibited from being installed in the 5' area surrounding the foundation of any house ("Backfill Zone").
- 6.7 Drainage. Landscape improvements shall not impact the approved drainage pattern for the Lot.
- 6.8 Gravel Mulch. A maximum of 20% of the total landscaped area of any Lot (the total Lot area excluding the house footprint, driveway, sidewalk and patio) shall be composed of gravel mulch devoid of plantings. Gravel color must be brown, tan or gray. Red, white and black gravel is specifically prohibited. Large expanses of gravel devoid of plantings in front or side corner yards is prohibited.
- 6.9 Required Landscaping. A minimum of 80% of the total landscaped area of any Lot (the total Lot area excluding the house footprint, driveway, sidewalk and patio) shall be composed of landscape plantings. For

FIGURE 6.1 - I	ree Planting Requi	rements		
	Mi	nimum Number and Typ	oes of Trees	
Lot Size	Front Yard	d Corner Side Yard (Adjacent to Street) Side Yard (Adjacent to Common Area)		
45' to 49' Width	1 Deciduous Shade Tree	1 Deciduous Shade Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree
50' to 59' Width	1 Deciduous Shade Tree	1 Deciduous Shade Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree	1 Deciduous Shade Tree Or 1 Evergreen Tree
60' to 69' Width	1 Deciduous Shade Tree And 1 Ornamental Tree	2 Deciduous Shade Trees	1 Deciduous Shade Tree Or 1 Evergreen Tree	2 Deciduous Shade Trees Or 2 Evergreen Trees
			Or	-
70' and Greater Width	2 Deciduous Shade Trees Or	2 Deciduous Shade Trees	1 Deciduous Shade Tree Or 1 Evergreen Tree	2 Deciduous Shade Trees Or 2 Evergreen Trees

andscape plan for all lots and surrounding common areas shall be submitted for each neighborhood and approved by the DRC



yards visible from a public street or common area the minimum requirement is one row of five (5) gallon shrubs planted on 3' centers located along the foundation excluding patios. Air-conditioning condenser units shall be screened from views from streets, trails and open space by minimum 5 gallon shrubs , 3' on center. Street trees with a minimum 2 ½" caliper are required in all yards fronting a public street (excludes alleys). Minimum requirements for front, side and rear yard shade trees, evergreen trees and ornamental trees vary by lot size. Refer to Figure 6.1 for number, species and location of tree requirements.

Builders of single family attached townhomes shall submit an overall landscape plan for the lots and surrounding adjacent common areas to the DRC for review.

- **6.10 Landscaping for Privacy.** Open views throughout the neighborhood are encouraged. Planting a continuous opaque hedge or similar around the entire perimeter of the Lot is prohibited. Selected outdoor areas may be screened from neighboring views using deciduous or evergreen plantings.
- **6.11 Irrigation.** Every Lot is required to install an automatic irrigation system prior to completion of landscape and planting. Use of drip systems are strongly encouraged. All spray head zones are required to have head-to-head coverage or closer. Overspray on sidewalks and adjacent property is prohibited. Controller devices must be located inside the garage unless specifically approved by the DRC.
- **6.12** Orientation for Landscaping. All owners are encouraged to attend a landscaping orientation seminar, held monthly at the High Plains Environmental Center at Centerra. This brief session will explain the landscape specifications for The LAKES at CENTERRA, providing the reasons for the specifications outlined in these Landscape Guidelines. Examples of turf grasses, shrubs, trees and other native vegetation will be available to assist with owners in their landscape plans.
- **6.13 Landscape Edges.** Edges of residential parcels should blend with the adjacent parcel. Harsh lines or the edges of properties, such as abrupt changes in mulch type or plant material placed in an obvious line, should be avioded. Adjacent to open spaces areas the landscaping should be varied in height and density so as to avoid a hedge or total screen appearance. Instead, the landscape treatment should provide view openings between the private yards and the open space.
- **6.14** Flower and Vegetable Gardens. Flower and vegetable gardens and raised beds of reasonable size are encouraged and should be located in the rear or side yards unless specifically approved by the DRC.

- **6.15 Soil Amendment.** Due to the clay-like consistency of the soils in Northern Colorado, it is recommended that compost or other organic matter be added to the soil, using a minimum of three (3) cubic yards per 1,000 square feet. Such soil amendment often aids in the establishment of all landscape material.
- **6.16 Xeriscaping.** Xeriscaping is encouraged. A minimum of 80% of total landscaped area of any Lot (the total Lot area excluding the house footprint, driveway, sidewalk and patio) shall be composed of landscape plantings or hardscape materials (i.e. boulders, pavers, retaining walls, etc.). Plant selections must comply with Centerra Plant List and must support visual interest year round.

An additional resource for xeriscaping information and planting recommendations can be found here: <u>https://conps.org/wp-content/uploads/2017/08/Low-</u> <u>Water-Native-Plants-for-CO-Gardens-Front-Range-Foothills.pdf</u>

Residents who desire to install xeriscaping in their front yard are required to submit a detailed landscape drawing to the Master Design Review Committee prior to installing the landscaping.





The following plant list has been established and approved by the Centerra Design Review Committee (DRC) for the Centerra Master Planned Community. Any substitutions or variances from the following list must be submitted to the DRC for review and approval.

### **SHRUBS**

Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

\* A Native Plant is defined as those native to the Rocky Mountain Inter-Mountain Region. \*\*A Pollinator is defined as those that provide food and/or reproductive resources for pollinating animals, such as honeybees, native bees, butterflies, moths, beetles, flies and hummingbirds.

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Abronia fragrans	Snowball Sand Verbena	White	6-7	4-24"	4-24"	**	• •	R, P
Agave americana	Century Plant	Greenish Yellow	Late Spring, Early Summer	6'-12'	6-10'	***	⊘→♦	May not be
Alnus incana ssp. tenuifolia	Thinleaf Alder	Purple	Early Spring	15-40'	15-40'	***	• • •	Host plant, catkins three
Amelanchier alnifolia	Saskatoon Serviceberry	White	Mid Spring	4'-15'	6'-8'	<del>* * * *</del>	• •	
Amelanchier canadensis	Shadblow Serviceberry	White	Mid Spring	25'-30'	15'-20'	<del>`*`**</del> *	• •	High habit
Amelanchier utahensis	Utah Serviceberry	White	Mid Spring, Late Spring	12'	12'	***	۵	High habit
Amorpha canescens	Lead Plant	Blue, Purple	Late Spring, Early Summer	3'-6'	6	*****	۵	Possible rep
Arctostaphylos uva-ursi	Kinnikinnick	Insignificant	Mid Spring, Late Spring, Early Summer	6"-12"	15'	<del>``*`*`*</del>	۵	R, U Prefers the
Aronia arbutifolia	Red Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	<del>````````````````````````````````````</del>	• •	X A
Aronia melanocarpa	Black Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	<del>`*`***</del>		A A
Artemisia cana	Silver Sagebrush	Insignificant	Summer, Early Fall	1'-3'	3'	***	⊘→	Silver foliag

Notes
C ot be reliably hardy, requires sandy/gritty soil
lant, Spreads - more appropriate for parks, More tree-like; through winter
A
abitat value for pollinators and birds; Protect from wind
A abitat value for pollinators and birds
A e replacement for Russian Sage; host plant
α, UC the winter shade of pines; Requires excellent drainage
<b>D</b> <sub>A</sub>
oliage; Drought tolerant; Water sparingly the 1 <sup>st</sup> year, and move irrigation.

# CENTERRA APPROVED PLANT LIST

<b>SHRUBS</b>	(Continued)
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LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
<b>Pollinator</b> **	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name Flower Blooming Season				Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Artemisia filifolia	Sand Sagebrush	Insignificant	Late Summer, Early Fall, Mid Fall, Late Fall, Early Winter	5'	3'	***	⊘→	Silver folia
Artemisia tridentata	Big Sagebrush	Insignificant	Early Summer	6'-12'	6'-8'	***	⊘→♦	Silver foli irrigation.
Atriplex canescens	Four-winged Saltbush	Insignificant	Early Spring-Late Fall	6'-12'	3-6'	**	⊘→	Interestin remove in
Buddleja davidii	Butterfly Bush	Insignificant	Early Summer – Early Fall	6'-12'	4'-15'	***	• •	A; Must b
Caryopteris x clandonensis 'blue mist'	Blue Mist Spirea	Powder Blue	Late Summer - Mid Fall	2'-3'	2'-3'	***	• •	A; Honey in spring
Cercocarpus intricatus	Littleleaf Mountain Mahogany	Insignificant	Early Spring, Mid Spring, Late Winter	6'	5'	<del>````````````````````````````````````</del>	⊘→♦	Bark and shelter; or
Cercocarpus montanus	Mountain Mahogany	Yellow Green	een Early Summer 8'		6'	****	⊘→♦	A Open hab
Cercocarpus ledifolius	Curl-leaf Mountain Mahogany	Insignificant	Early-Mid Spring	10'-25'	10'-20'	***	⊘→♦	A Open hab
Chaenomeles japonica	Japanese Quince	Red	Mid Spring	3'	6'	<del>**→***</del>	• •	Flowers a
SHRUBSColorArtemisia filifoliaSand SagebrushInsignificantMidArtemisia tridentataBig SagebrushInsignificantEarlAtriplex canescensFour-winged SaltbushInsignificantEarlBuddleja davidiiButterfly BushInsignificantEarlyCaryopteris x clandonensis 'blueBlue Mist SpireaPowder BlueLateCercocarpus intricatusLittleleaf Mountain MahoganyInsignificantEarlyCercocarpus difoliusCurl·leaf Mountain MahoganyYellow GreenEarlyChaenomeles japonicaJapanese QuinceNedMountainChrysothamnus nauseosusRubber RabbitbrushYellowMChrysothamnus nauseosus ssp. nauseosusDwarf Blue RabbitbrushYellowLateChrysothamnus viscidiflorusYellow RabbitbrushYellowLate		Mid-Summer, Late Summer	5'	6'	***	⊘→	Especially landscape	
Chrysothamnus nauseosus	Rubber Rabbitbrush	Yellow	Late Summer	4-6'	4-6'	***	⊘→♦	Syn. Erica
Chrysothamnus nauseosus ssp. nauseosus	Dwarf Blue Rabbitbrush	Yellow	Fall	4'	4'	***	⊘→♦	Syn. Erica
Chrysothamnus viscidiflorus	Yellow Rabbitbrush	Yellow	Late Summer, Early Fall, Mid Fall	5'	5'	***	⊘→♦	Syn. Erica
Cornus alba	Tatarian Dogwood	Yellow Green	Late Spring, Early Summer	8'	6'	*-***	• •	A 📢
Cornus alternifolia	Alternate leaf Dogwood	Cream	Late Spring, Early Summer	25'	20'	*****	• •	A N
Cornus racemosa	Grey Dogwood	White	Late Spring, Early Summer	15'	15'	<b>**</b> **	• •	A 🐝

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

### Notes

iage; Water sparingly the 1<sup>st</sup> year, and then remove irrigation.

### **D**<sub>A</sub>

oliage; Water sparingly the 1<sup>st</sup> year, and then remove on.

## DA

ting seed pods; Water sparingly the 1<sup>st</sup> year, and then e irrigation.

t be deadheaded to maintain looks; cut back in winter

eybee forage; will re-seed in irrigated areas; Often cut back

d seeds provide nice texture; semi-evergreen provides open habit

abit; Appealing, curly seeds

abit; Appealing seeds

appear before foliage.

🕈 🔕 UC, I, P

lly attractive to bumblebees; Suitable for conventional oes; Semi-evergreen

A *cameria*; extremely high habitat value

A *cameria*; extremely high habitat value

A *cameria*; extremely high habitat value



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

## SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
SHRUBS						· · ·		
Cornus sericea	Redosier / Red Twig Dogwood	White	Spring to Summer	6-8'	6-8'	<del>````````````````````````````````````</del>		Red stems provide winter interest
Corylopsis glabrescens	Winterhazel	Light Yellow	Early Spring	15'	8'		• •	UC, R
Corylus americana	American Hazelnut	Tan	Early Spring, Mid Spring	15'	13'	***		UC, R
Cotoneaster adpressus	Creeping Cotoneaster	White	Late Spring, Early Summer	2'	6'	****	•	A; Red berries
Cotoneaster apiculatus	Cranberry Cotoneaster	Light Pink	Late Spring, Early Summer	2'	6'	***	۵	A; Stiff arching branches, red berries
Cotoneaster dammeri	Bearberry Cotoneaster	White	Late Spring	2'	6'	****	۵.	A; Red berries
Cotoneaster hessei	Cotoneaster	Light Red	Late Spring	18"	5'	****	۵.	A; Red berries
Cotoneaster multiflorus	Many-flowered Cotoneaster	White	Early Summer, Mid-Summer	12"	4'	****	۵	A; Red berries
Crataegus erythropoda	Shiny-leaved Hawthorn	White	Spring	10-20'	8-15'	****		
Crataegus phaenopyrum	Washington Hawthorn	White	Early Summer	20'-25'	20'	***	۵.	A A
Ephedra americana	Jointfir	Light Yellow	Late Spring, Early Summer	4'	3'	***	⊘→♦	A; Semi-evergreen
Ephedra viridis	Mormon Tea	Insignificant	Early Spring	4'-6'	4'-6'	***	۵	
Euonymus alatus	Burning Bush	Insignificant	Late Spring	15'-20'	8'-12'	****	• •	U; Bright red foliage
Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus	Insignificant	Mid-Summer	4'-5'	5'-6'	*	• •	U Evergreen; Spreading habit broadleaf for full shade
Fallugia paradoxa	Apache Plume	White	Late Spring – Early Winter	3'-5'	3'-5'	**	۲	A Appealing seed heads; Flowers attract honeybees and native bees
Forestiera neomexicana	New Mexico Privet	Insignificant	Mid Spring – Late Spring	8'-12'	6'-8'	***	۵	
Juniperus horizontalis	Creeping Juniper	N/A	N/A	18"	8'	***	•	A; Evergreen
Juniperous x media 'pfitzeriana compacta'	Compact Pfitzer Juniper	N/A	N/A	18"	5'	***	•	A; Evergreen; Blue green foliage, irregularly round habit
Juniperus x media 'sea green'	Seagreen Juniper	N/A	N/A	5'-6'	6'-8'	***	⊘→	A; Evergreen
Juniperus sabina	Juniper	N/A	N/A	4'-6'	5'-10'	***	• •	A; Evergreen
Juniperus squamata	Singleseed Juniper	N/A	N/A	16'	3'	****	۵	R Evergreen; Use in protected areas
Ligustrum vulgare	European Privet	White	Early Summer, Mid-Summer	3'	4'	<b>★★</b> →★★★	•	UC; Use for hedge applications only; Low habitat value
Malus sargentii	Sargent Crabapple	White	Mid Spring, Late Spring	8'	15'	****	• •	A Benefits birds
Mahonia aquifolium	Compact Oregon Grape Holly	Yellow	Spring	6'	6'	<del>````````````````````````````````````</del>	۵	Early blooms for pollinators, berries for birds; Foliage interest

	Abbreviations for Recommended District/Area:
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<b>`</b>	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

# CENTERRA APPROVED PLANT LIST

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
L		1

### SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Mahonia repens	Creeping Grape Holly	Yellow	Late Spring, Early Summer	1'-2'	3'	**	• •	Early bloo
Perovskia atriplicifolia Russian Sage		Lavender	Late Summer, Fall	3'-5'	2'-4'	***	⊘→●	Consider s
Philadelphus coronarius	Mock Orange	White	Late Spring, Early Summer	10'	10'	***	۸ ۸	<b>P; F</b>
Philadelphus lewisii	Philadelphus lewisii Mock Orange		Late Spring, Early Summer	7'	6'	***	۵	Preferred s
Philadelphus microphyllus	Little-leaf Mockorange	White	Late Spring, Early Summer	4'-6'	4'-6'	<del>````````````````````````````````````</del>	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	
Physocarpus monogynus	Mountain Ninebark	White	Spring	4'	4'	***	۵	
Physocarpus opulifolius Ninebark		Light Pink, White	Late Spring, Early Summer	6'	4'	***	٢	
Physocarpus opulifolius 'nanus' Dwarf Ninebark		White	Late Spring, Early Summer	1'-2'	2'-3'	*****	<b>♦</b> →	
Picea pungens 'Thume'	Colorado Blue Spruce	N/A	N/A	8'	4'	***	•	A; Evergre
Pinus sylvestris 'Repens'	Creeping Scot's Pine	N/A	N/A	50"	30"	<b>★</b> ★→★★★	٢	A; Evergre
Potentilla fruticosa	Potentilla	Yellow	Summer	2'-3'	2'-3'	***	۵	A; Ai
Prunus besseyi	Western Sand Cherry	White	Spring	3'	6'	***	⊘→♦	Attractive
Prunus maackii	Amur Chokecherry	White	Late Spring	20'-30'	18'-25'	*****	• •	Golden, ex
Prunus virginiana melanocarpa Western Chokecherry		White	Spring	20'	12'	*****	٢	Attractive wide range
Purshia mexicana	Mexican Cliffrose	Light Yellow	Mid Spring, Late Spring, Early Summer	6'	4'	***	⊘→●	*** 🕲
Purshia tridentata Antelope Bitterbrush		Yellow	Late Spring, Early Summer	8"	8"	***	••	Scrubland
Pyracantha angustifolia 'gnome'	Gnome Firethorn	White	Late Spring	4'-6'	4'-8'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	I, P; Large
<i>Quercus gambelii</i> Gambel Oak		Insignificant		8'-20'	6'-12'	***	۵	Host plan
Rhamnus smithii	Smith's Buckthorn	Yellow Green	Late Spring, Early Summer	10'	10'	***	٢	P, R, I

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

Notes

🌾 🛕 A

ooms for pollinators, berries for birds; Foliage interest

er subbing with a native species (i.e. leadplant); honeybee forage

Fragrant

A; Fragrant d species of mock orange

A; Fragrant

**Й** А

X 🎝

ÅΑ

green; Any cultivars are appropriate

green; Any cultivars are appropriate

; Any cultivators are appropriate

ve and reliable for many sites; great native bee plant

exfoliating bark

ГР Р

ve and reliable for many sites; high habitat value for birds and nge of pollinators; Can spread like crazy

**D**<sub>P, R</sub>

₩Р, R

nd shrub; Plant in well drained area

rge, persistent orange berries; Wicked thorns

P N

ant; Plant on gravel berm; Must have excellent drainage



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moisture)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

### SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Rhus aromatica 'gro-low'	Grow Low Sumac	Insignificant	Late Spring	1'-2'	6'-8'	****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Brilliant fa
Rhus glabra Smooth Sumac		Insignificant	Early Summer	9'-15'	9'-15'	<del>````````````````````````````````````</del>	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Brilliant fa
Rhus trilobata Three-leaf Sumac		Insignificant	Mid Spring, Late Spring	6'	6'	***	⊘ → ♦	High habi
Ribes alpinum	Alpine Currant	Yellow Green	Mid Spring	6'	6'	****	•	A V
Ribes americanum American Black Currant		Yellow	Spring	2-4'	2-4'	***	• •	P, R
Ribes aureum Golden Currant		Yellow Orange	Mid Spring, Late Spring	3'-7'	2'-6'	<del>**`**</del>	• •	High habi
Ribes cereum	Wax Currant	Light Pink	Mid Spring	4'	4'	***	۲	
Ribes odoratum 'Crandall'	Clove Currant	Yellow	Mid Spring 5'		10'	*****	٠	Great fall
Rosa glauca	Redleaf Rose	Pink	Late Spring, Early Summer	8'	5'	***	•	Red-purpl
Rosa All shrub roses, including: Hybrid Rugosa Rose Floribunda Rose Explorer Series		Light Pink	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	7'	7'	***	• •	P, R; Low
Rosa 'Nearly Wild' Floribunda Rose		Pink	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	4'	***	• •	P, R; Low
Salix irrorata	Bluestem Willow	Insignificant	Spring	12'	8'	***	• •	P, R, Stree
Salix purpurea 'nana'	Dwarf Artic Willow	Insignificant	Spring	3'-5'	3'-5'	***	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	P, R, Stree
Sambucus ebulus	Dwarf Elderberry	White	Mid-Summer, Late Summer	4'	4'	***	♦ ♦	May be ra
Shepherdia argentea	Buffaloberry	Yellow	Early Spring	8'-12'	8'-12'	<del>````````````````````````````````````</del>	⊘→●	Edible fru
Sibiraea laevigata	Siberian Spirea	White	Early Summer	5'	8'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	P, R, Stre
Spiraea fritschiana	Korean Spirea	White	Early Summer, Mid-Summer	3'	4'	***	۵.	UC, P, St

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
,	R = Residential I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

Notes

fall foliage

fall foliage

A abitat value, especially for native bees; Use in masses; Brilliant

R

P

abitat value, esp. for migrating hummingbirds and bumblebee ; Will sucker; Red autumn foliage is amazing

A N

P, R all color; Good for birds

R. UC

rple foliage provides nice contrast

ow habitat value for pollinators; Provides habitat for birds

ow habitat value for pollinators; Provides habitat for birds

reetscape

reetscape

e rangy in small yards; Bird plant

**Ж 🕲** <sub>Р, І</sub>

fruit; Silver foliage; Provides habitat for birds

treetscape

Streetscape



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistur
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

## SHRUBS (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
SHRUBS								
Spiraea japonica	Japanese Spiraea	Pink	Late Spring, Early Summer, Mid-Summer	3'	3'	★★→★★ ★		UC, P, Streetscape
Spiraea myrtilloides	Myrtle Spirea	White	Early Summer, Mid- Summer	8'	4'	<del>`**`*</del>	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	UC, P, Streetscape
Spiraea prunifolia	Bridal Wreath Spirea	White	Mid Spring, Late Spring	8'	8'	** *	• •	UC, P, Streetscape; Invasive in eastern U.S.
Spiraea trilobata	Three-lobed Spirea	White	Late Spring, Early Summer	4'	4'	** *		UC, P, Streetscape
Symphoricarpos occidentalis	Snowberry	White	Mid-Summer	3'-6'	3'-6'	** *		Great plant for birds
Symphoricarpos orbiculatus	Red Coralberry	White, Green	Mid Spring, Early Summer	3'-6'	3'-6'	<u>→</u> → → → →	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A
Syringa meyeri 'palibin'	Dwarf Korean lilac	Pale pink	Mid Spring, Late Spring	4-5'	5-7'	***	۵.	A; Fragrant
Syringa vulgaris	Common Lilac	Purple - White	Late Spring	20'	12'	***	۵	Y P, I, R Susceptible to powdery mildew; Fragrant
Viburnum carlesii	Koreanspice Viburnum	White	Early Spring, Mid Spring	5'	6'	<b>*</b> →* * *	۵.	A; Fragrant
Viburnum dentatum	Southern Arrowwood	White	Late Spring, Early Summer	8'	8'	<b>*</b> →* * *	۵.	P, UC; Uniform branching habit
Viburnum lantana	Wayfaringtree	White	Late Spring	10'	8'	<b>*</b> →* * *	۵	P, UC, I
Viburnum lentago	Nannyberry	White	Late Spring	15'	8'	****	٢	P, UC, I; Upright arching branches
Viburnum trilobum 'Compactum'	American Cranberrybush	White	Mid Spring	5'	5'	****	۵	P, UC, R; Fruit bearing
Viburnum x burkwoodii	Burkwood Viburnum	White	Mid Spring	8'	8'	<b>*</b> →* *	۵.	P, UC, R
Yucca glauca	Soap Weed	White	Summer	2-3'	2-3'	***	⊘→	

	Abbreviations for Recommended District/Area:
	UC = Urban Core
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ure)	P = Parks
	A = All districts/areas (excluding natural areas)



### PERENNIALS & GRASSES

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
	•	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
V Pollingtor**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
Pollinator**		

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS								
Achillea lanulosa	Woolly Yarrow	White	Summer	18"	18"	***	۵	A; Forage for wide range of small pollinators
Achillea millefolium	Common Yarrow	White	Early Summer, Mid- Summer, Late Summer, Early Fall	2'	3'	***	۵	A; Can be aggressive; Any cultivar is okay
Adenolinum (linum) lewisii	Blue Flax	Blue	Summer	12"	12"	***	۵	Short-lived, but re-seeds; gives a "wild" or "natural" effect
Agastache cana	Double Bubblemint	Pink	Summer-Fall	3'	2'	***	۵	A; High habitat value for long-tongued pollinators
Agastache foeniculum	Anise Hyssop	Blue	Summer-Fall	3'	2'	***	۵	A; Especially attractive to bumble bees
Agastache rupestris	Sunset Hyssop	Orange	Late Summer, Fall	1'-2'	1'-1.5'	<del>````````````````````````````````````</del>	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A; High habitat value for long-tongued pollinators
Aguilegia caerulea	Rocky Mountain Columbine	Blue, White	Mid to Late Spring	1'-2'	1'-2'	****	• •	A; Colorado State flower
Ajuga reptans 'Mahogany'	Bugleweed	Blue	Late Spring, Early Summer	6"	6"	*	• •	₩ R; Ground cover; Spreads aggressively
Alchemilla mollis	Lady's Mantle	Yellow Green	Early Summer	2'	2'	*	۵.	A; Tidy and attractive in the right setting
Amsonia jonesii	Jones' Bluestar	Light blue	Mid Spring, Late Spring, Early Summer	2'	2'	***	۵	
Anthemis marschalliana	Filigree Daisy	Yellow	Late Spring, Early Summer, Mid-Summer	4"	12"	***		<b>W</b> R; Tidy border plant; Prefer Engelmann Daisy
Aquilegia chrysantha	Golden Columbine	Yellow	Late spring	3'	2'	****	۵	A; Long blooming
Armeria maritima	Sea Thrift	Pink	Mid Spring, Late Spring, Early Summer	12"	12"	***	• •	P, R; Tidy border plant
Artemisia frigida	Fringed Sagebrush	Yellow	Summer	2'	2'	***	⊘→	A; Silver foliage
Artemisia ludoviciana	Prairie Sage	Yellow	Summer	40"	36"	***	⊘→♦	A Silver foliage; Can spread to become groundcover
Artemisia schmidtiana	Wormwood	White	Early Summer	18"	24"	***	•	A
Artemisia versicolor 'seafoam'	Seafoam Artemisia	Yellow	Mid-Summer	6"-12"	18"-24"	***	۵	A; Low water; Grey foliage
Asclepias incamata	Swamp Milkweed	White/Pink	Summer	36-72"	24"	***	• •	A; Superior milkweed choice for landscaping; Monarch host; High habitat value
Asclepias tuberosa	Butterfly Weed	Orange	Summer	12"	12"	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	R, P, Streetscape; Monarch host; High habitat value
Aster alpinus 'Goliath'	Goliath Alpine Aster	Light Blue	Mid Spring, Late Spring, Early Summer	12"	18"	****	۵	A; High habitat value for pollinators and birds

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moisture
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

### PERENNIALS & GRASSES (Continued)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS				-				
Aster ascendens	Western Aster	Light Purple	Late Spring, Early Summer, Mid-Summer	24"	24"	***	۵	Syn. Symp birds; Goo
Aster ericoides	Many-flowered Aster	White	Late Summer	18-24"	24"	***		
Aster falcatus	Rough White Aster	White	Late Summer	24-48"	24"	***		
Aster hesperius	Western Aster; Violet Aster	Pink	Late Summer	36-60"	20"	***		
Aster x frikartii 'monch'	Monch Aster	Lavender	Late Summer, Fall	2'-3'	1'-1.5'	** *	• •	<b>N</b> A; H
Aster porteri	Porter's Aster	White	Late Summer	18-24"	24"	***	٢	
Aubrieta deltoidea	Purple Rockcress	Purple	Mid Spring, Late Spring, Early Summer	6"	12"	***	۵	<b>R</b> , P
Baptisia australis	Blue Wild Indigo	Blue	Late Spring, Early Summer	4'	3'	** *	۵	Attractive
Bergenia cordifolia	Heartleaf Bergenia	Pink	Late Spring	1'-1.5'	1'-1.5'	***		A; Large ev
Berlandiera lyrata	Chocolate Flower	Yellow	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	24"	18"	***	۵	**
Callirhoe involucrata	Poppy Mallow	Red violet	Summer	6"	18"	***	۵	Easy care;
Calylophus serrulata	Calyophus	Yellow	5-9	8-12"	15"	****	۵	
Campanula cochlearifolia	Earleaf Bellflower	Violet	Late Spring, Early Summer, Mid-Summer	6"	12"	***	• •	А
Campanula persicifolia	Willow Bell	Blue	Early Summer, Mid- Summer	3'	18"	***	• •	А
Campanula rotundifolia	Bluebell Bellflower	Light Blue	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	8"	**	۵	* A
Centranthus ruber	Red Valerian	Pink	Late Spring	3'	2'	***	۵	Indestruct
Cerastium tomentosum	Snow-in-Summer	White	Early Summer	.5'-1'	.75'-1'	***	⊘ → ♦	Mr Agg

	Abbreviations for Recommended District/Area: UC = Urban Core
ure)	R = Residential I = Industrial P = Parks A = All districts/areas (excluding natural areas)

### Notes

Anphyotrichum ascendens; High habitat value for pollinators and ood for buffers

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

Р

ve to bumblebees; Long lived; Shrub like perennial

evergreen leaves

🕈 A; Fragrant

A e; Host for fritillary butterflies; Spreading plant

A

Streetscape

ctible, benefits from timely deadheading

ggressive; Silver foliage

## PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
	9	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
<b>*</b> *	<b>~</b>	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs		
FORBS									
Ceratostigma plumbaginoides	Plumbago	Blue	Mid-Summer, Late Summer, Early Fall	12"	24"	<b>*→**</b> *	۵	<b>P</b> , R,	
Clematis	Clematis	White - Purple	Early Summer, Late Summer, Mid-Summer	6'	Vine	***	• •	R; Will nee	
Convallaria majalis	, , , , , , , , , , , , , , , , , , ,		Early Spring	12"	15"	<b></b>	• •	R; Underst	
Coreopsis verticillata	Coreopsis	Yellow	Summer	1.5'-2'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A 🏹	
Crambe maritima	Curly Leaf Sea Kale	White	Late Spring, Early Summer	6'	4'	***	• •	P; Use as co	
Dalea purpurea	Purple Prairie Clover	Rose, Purple	Summer 1'-3'		1'-1.5'	***	• •		
Delosperma cooperi	igma plumbaginoidesPlumbagoBlueigma plumbaginoidesClematisWhite - Putria majalisLily of the ValleyWhite - Putria majalisLily of the ValleyWhites verticillataCoreopsisYellowmaritimaCurly Leaf Sea KaleWhiteurpureaPurple Prairie CloverReed purples 'Bath's Pink'Cheddar PinkReed purples 'Bath's Pink'Cheddar PinkPinklanataGrecian FoxgloveYellowa purpureaSunset FoxgloveYellowa tennesceensisSmall Tennessee Purple ConeflowerLight Purples 'Bath's Pink'Suffur FlowerYellowa tennesceensisSulfur FlowerYellows 'geciosusAspen DaisyLavendeunina peristeniaBlanket FlowerWhiteia aristataBlanket FlowerWhiteindheimeriSweet WoodruffWhitematultivarsSuffur FlowerPurple	Red purple	Summer, Early Fall	.25'5'	1'-2'	***	⊘→♦	A; Se	
Dianthus 'Bath's Pink'	Cheddar Pink	Pink         Late Spring         10"         10           Forly Summer Mid         Image: Mid         Im		10"	***	• •	• P, R,		
Digitalis lanata	Grecian Foxglove	Cream	Early Summer, Mid- Summer	24"	18"	★★→★★ ★		A	
Digitalis obscura	Sunset Foxglove	Yellow	Late Spring Early Summer	24"	20"	****		A; Pr	
Echinacea purpurea	Eastern Purple Coneflower	Light Purple	Early Summer, Mid- Summer, Late Summer	3'	2'	***		P, R High habit	
Echinacea tennesseensis	Small Tennessee Purple Coneflower	Purple	Early Summer, Mid- Summer, Late Summer	30"	24"	***	۵	X A; Hi	
Engelmannia peristenia	Englemann Daisy	Yellow	Late Spring Early Summer	24"	30"	***	۵	Plant Select	
Erigeron speciosus	Aspen Daisy	Lavender	Summer	24"	24"	***	۵	• A; M	
Eriogonum umbellatum	Sulfur Flower	Yellow	7-8	6-18"	24"	***	٢	P, R,	
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	White	Mid Spring	0-18         24           .5'75'         1'-3'		★★→★★ ★		A; Eve	
Gaillardia aristata	Blanket Flower	Red/ Yellow	Summer, Fall	24"	24"	***	۵	Long bloor	
Galium odoratum	Sweet Woodruff	White	Mid to Late Spring	.5'-1'	.75'-1.5'	<b>★</b> ★→★★	$\blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Aggressi	
Gaura lindheimeri	Beeblossom	White/Pink	Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	3'	2'	<del>**'**</del> *	۵	<b>P</b> , R,	
Geranium cultivars		Pale Pink - Violet	Summer	2'	2'	<del>*→***</del>		<b>A</b> P, R,	
Glandularia wrightii		Pink	Early Summer	3"	6"	***	•	🐺 A; Lik	

### Notes

### R, Streetscape; Late blooming perennial

need support

erstory plant; Fragrant

s contrast foliage; Huge plant

A

Semi-evergreen

R, UC; Semi-evergreen

Preferred foxglove selection – Plant Select

bitat value: Low maintenance; A favorite of rabbits

High habitat value; Low maintenance; A favorite of rabbits

lect; Preferred over Anthemis

May spread aggressively

R, UC; Semi-evergreen; Persistent seed heads

Evergreen

A

ooming period, especially when deadheaded; Tolerates heat essive spreader

R, UC; Excellent long blooming perennial

R, UC

Likes sandy soil



### PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
* Native*	A Maintana Dating (Lang Maintana Hish Maintana)	I = Industrial
	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)
	('I')	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS								
Gutierrezia sarothrae	Snakeweed	Yellow	Late Summer, Early Fall, Mid Fall	3'	3'	**	⊘→♦	
Helianthemum grandiflorum ssp. grandiflorum	Rockrose	Yellow	Late Spring, Early Summer	12"	24"	***	۵	₩ P, R;
Helianthus annuus	Annual Sunflower	Yellow	Yellow Summer		3'	***	۵	should be a maintenance
Helianthus maximiliani	Maximilian sunflower	Yellow	Early Fall	3'-10'	2'-4'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	
Hemerocallis ssp.	Daylily	Varies	Summer	1'-3'	1'-3'	★★→★★ ★	۵	for tough lo
Hesperaloe parviflora	Red Yucca	Pink	Summer     1'-3'       Summer     3'       Late Spring, Early Summer     6"		3'	***	⊘→●	High habita
Heuchera pulchella	Sandia Mountain Coral Bells	Pink	Late Spring, Early Summer	6"	12"	<b>**</b> *	۵	P, R, UC;
Heuchera sanguinea	Coral Bells	Pink, Red	Late Spring, Early Summer   1'-1.5'		.75'-1'	★★→★★ ★	• •	P, R, UC; 1
Hosta sagae	Hosta	Light Purple	Mid-Summer, Late Summer	3'	3'	*		A; Workho
Hyssopus officinalis	Common Hyssop	Violet	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	10"	***	۵	X A; Ag
Iris x germanica	Bearded Iris	Blue-Purple	Late Spring	2'-3'	1'-2'	***	۵ ۵	А
Iris missouriensis	Blue flag Iris	Blue-Purple	Spring	24"		***	▲ ▲	A; Early blo
Kniphofia caulescens	Torch Lily	Coral Red, Yellow	Mid-Summer	2'-4'	1'-2'	***	• •	X A
Kniphofia uvaria	Red Hot Poker	Red	Late Spring, Early Summer	24"	24"	***	۵	<b>P</b> , R,
Lavandula angustifolia	English Lavender	Purple	Late Spring, Early Summer, Mid-Summer	18"	18"	***	٠	R, UC Fragrant; S winter
Leucojum aestivum	Summer Snowflake	White	Early Spring, Mid Spring, Late Spring, Late Winter	2'	1'	**		R, P; Bulbs
Liatris ligulistylus		Magenta	Mid-Summer, Late Summer	2'	1'	***		***
Liatris punctata	Dotted Gayfeather	Pink, Purple	Late Summer, Fall	1-3'	1-3'	***	• •	wildflower
Liatris pycnostachya	Prairie Blazing Star	Light Purple	Mid-Summer, Late Summer	5'	18"	***		A; Su

### Notes

A; Shrub like

R; Attractive all season long

; High habitat value; even if not included in design, there e allowance to keep them in the landscape; included in ince guidelines; will re-seed

A

UC, Streetscapes; Low habitat value – restrained use, but great locations

DA

bitat value for pollinators, esp. hummingbirds; Habit provides

C; Best used in sheltered contexts, understory

C; Best used in sheltered contexts, understory

horse in shady sites; Low habitat value

Agastache spp. are preferred

bloom - nectar and pollen for bees; aquatic shelter

R, UC; Favorite of hummingbirds, but can be finicky

JC, Streetscape

Superb honeybee forage; May rot out in heavy soils over

lbs in spring

A; Superb plant for butterfly habitats

A; Superb plant for butterfly habitats; Also good for er seeding in natural areas

Superb plant for butterfly habitats



### PERENNIALS & GRASSES (Continued)

LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS				-				
Liatris spicata	Prairie Gayfeather	Magenta	Mid-Summer, Late Summer	24"	24"	***	۲	💓 A; Pla
Linum perenne	Perennial Flax	Light Blue	Early Summer	24"	24"	***	۵	A; Als
Lonicera spp.	Vining Honeysuckles		Early Summer, Mid- Summer, Late Summer	Vine	Vine	***	۵	A 😻
Lupinus argenteus			2'	***	۵	Availability great forage		
Lupinus neomexicanus	New Mexico Lupine	Light Blue	Late Spring, Early Summer	24"	24"	***	۵	A; Ava
Lychnis chalcedonica	Silvery LupinePurpleSummerNew Mexico LupineLight BlueLate Spring, Early Summer2MaltesecrossRedLate Spring, Early Summer, Mid-Summer3Creeping JennyYellowLate Spring, Early Summer4Sante Fe AsterBlueFall1Four O'ClockRed-violetSummer1		4' 18"		***		R; Silv	
Lysimachia nummularia	Creeping Jenny	Yellow	Late Spring, Early Summer	4"	18"	***	٠.	😻 R; Ma
Machaeranthera bigelovii	Sante Fe Aster	Blue	Fall	1'-3'	1'-2'	***	۵	A; Wi
Mirabilis multiflora	Four O'Clock	Red-violet	Summer	3'	4'	***	⊘→	Attractive n hummingb
Monarda fistulosa	Wild Bergamot	Pink	Summer	36"	24"	***	٠	High habita
Oenethera caespitosa	White Stemless Evening Primrose	White	Early Summer, Mid- Summer, Late Summer	12"	18"	***	⊘→♦	
Oenothera macrocarpa	Evening Primrose	gamotPinkSummergamotPinkSummeremless Evening PrimroseWhiteEarly Summer, Summer, Late Summer, Late SummerPrimroseYellowSummerCactusRed, Pink, PurpleLate Winter, Sprin Summer		12"	24"	***	Ø → <b>♦</b>	P, R
Opuntia basilarus	Beavertail Cactus		Late Winter, Spring, Early Summer	1'-3'	2'-3'	***	•	
Origanum libanoticum	Hopflower Oregano	Lavender	Late Summer, Early Fall	18"	24"	**	۵.	A; At
Paeonia suffruticosa	Mountain Peony	White	Mid Spring, Late Spring	5'	5'	***	۸ ۸	<b>P</b> , R:
Paxistima canbyi	Canby's Mountain Lover	White	Mid Spring	12"	12"	*	• •	A; Pl
Penstemon albidus	White Penstemon	White	Mid Spring, Late Spring, Early Summer	Early Summer 12-16 12		***	۲	
Penstemon angustiflius	Narrow-leaved Penstemon	White	Mid Spring, Late Spring, Early Summer	12-24"	12"	***	⊘→♦	
Penstemon barbatus	Scarlet Bugler	Red	Summer	36"	18"	***	۵	*

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
ure)	I = Industrial
	P = Parks
	A = All districts/areas (excluding natural areas)

### Notes

Plant for butterfly habitats; Least preferred Liatris

Also see Adenolinum (linum) lewisii

lity will be an issue, great once established; Host for blues and age for larger bees

Availability will be an issue

Silver Foliage

May spread aggressively

Will self-seed, short lived

e mounding habit; Attractive to hawk moths and gbirds; Requires excellent drainage

A

bitat value when in bloom for bumblebees, hummingbirds and es; Very hardy

**A** 

, R, Streetscapes; Often called O. missouriensis

Attractive habit even after bloom has stopped

R: Tree peonies are high maintenance

Plant Select

A; High habitat value for pollinators

A; High habitat value for pollinators

A; High habitat value for pollinators



## PERENNIALS & GRASSES (Continued)

LEGEND Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
•		UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
* Native*	Moisture Rating (Low Moisture – High Moisture)	I = Industrial P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS						1		
Penstemon eatonii	Firecracker Beardtongue	Red	Early Summer	24"	18"	***	٢	* * A;
Penstemon grandiflorus	Large Beardtongue	Red	Summer	36"	12"	***	۵	* * A;
Penstemon linariodes v coloradoensis	Blue-mat Penstemon	Blue	Late Spring, Early Summer	.5'-1'	.5'-1'	***	•	A A
Penstemon x mexicalli 'Pike's Peak'	Pike's Peak Penstemon	Purple	Early Summer, Mid- Summer, Late Summer	1'-1.5'	.5'-1'	***	۵	A A
Penstemon x mexicalli 'Red Rocks'	Red Rocks Penstemon	Pink	Early Summer, Mid- Summer, Late Summer	Early Summer, Mid- Summer, Late Summer 1'-1.5' Summer 8"		***	۵	X A
Penstemon pinifolius	Pine-leaf Beardtongue	Magenta	Summer	8"	15"	***	٢	* A;
Penstemon pseudospectabilis	Desert Beardtongue	Magenta	Late Spring, Early Summer, Mid-Summer, Late Summer	32"	24"	***	۵	* * * A;
Penstemon secundiflorus	One-sided Penstemon	Pink/ Purple	Summer	24"	24"	***	۵	* * A;
Penstemon strictus	Beardtongue, Rocky Mountain Penstemon	Purple	Late spring	24"	24"	**	۵	* * A;
Penstemon virens	Greenleaf Penstemon	Blue-Purple	Summer	12"	12"	***	⊘→♦	* * A;
Penstemon virgatus	Tall One-Sided Penstemon	Pink	Early Summer	12"	18"	**	⊘→●	* A;
Phlomis cashmeriana	Cashmere Sage	Light Pink	Early Summer	3'	2'	** *	۵	P, R; N
Phlomis russeliana	Jerusalem Sage	Light Yellow	Late Spring, Early Summer, Mid-Summer	3'	2'	***	۵	<b>P</b> , R
Phlox carolina	Thickleaf Phlox	Pink	Mid-Summer, Late Summer, Early Fall, Mid Fall	36"	30"	***	• •	A A
Phlox divaricata	Wild Blue Phlox	Light Pink, Light Blue	Mid Spring, Late Spring	18"	40"	★★→★★ ★		A A
Phlox maculata	Wild Sweetwilliam	Magenta	Late Summer, Early Fall, Mid Fall	18"	2'	***	۸ ۸	A A
Phlox subulata	Moss Phlox	Magenta, Violet	Mid Spring, Late Spring, Early Summer	6"	18"	**		A N
Polemonium caeruleum	Jacob's Ladder	Yellow	Mid Spring, Late Spring	24"	18"	*	۵.	A

Notes
A; High habitat value for pollinators
A; High habitat value for pollinators
A; High habitat value for pollinators
R; Nice texture; Moderate habitat value
R

## PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	<b>A</b> Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS	·							
Primula denticulata	Primrose	Pink, Blue, Purple, White	Early Spring, Mid Spring	6"	12"	*	• •	A A
Pycnanthemum virginianum	Virginia Mountainmint	White	Mid-Summer, Late Summer	24"	36"	***	• •	<b>₩</b> P, R
Ratibida columnifera	Prairie Coneflower	Yellow	Summer	18"	12"	***	⊘→	A; Very tough plant
Ratibida pinnata	Pinnate Prairie Coneflower	Yellow	Early Summer, Mid- Summer, Late Summer, Early Fall	5'	18"	***	⊘ → ♦	N A A
Rudbeckia hirta	Blackeyed Susan	Gold	Summer	3'	1'	***	• •	P, R, UC, Streetscapes
Rudbeckia maxima	Great Coneflower	Yellow	Early Summer, Mid- Summer	7'	18"	***	۵	P P
Rudbeckia triloba	Brown-Eyed Susan	Yellow	Mid-Summer, Late Summer, Early Fall, Mid Fall	3'	3'	***	• •	Y P, R, UC, Streetscapes
Salvia azurea var. grandiflora	Pitcher Sage	Blue	Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	3'	***	٢	Hot/ late season forage for many bees, butterflies, hummingbirds
Salvia daghestanica	Dwarf Silver-leaf Sage	Blue	Late Spring, Early Summer	12"	12"	***	۵	R, UC; Texture on silver foliage
Salvia greggii 'Farman's Red'	Salvia 'Furman's Red'	Red	Spring, Summer, Fall	2'-3'	2'-3'	***		A; Loves hot weather
Salvia nemerosa 'may night'	Salvia 'May Night'	Dark Blue	Late Spring – Early Summer	1.5'-2'	1'-1.5'	***	• •	A; Can spread into natural areas; Deadhead
Salvia pachyphylla	Mojave Sage	Purple	Summer	2'-3'	2'-3'	***	۲	I, R, UC; Low survival rate; Consider bare root planting; Hates organic matter and water
Salvia officinalis	Sage	Light Purple	Early Summer	24"	24"	***		R, UC; Fragrant foliage
Saponaria ocymoides	Rock Soapwort	Pink	Late Spring, Early Summer	9"	30"	***	۵	P, R, UC
Sedum 'Autumn Joy'	Autumn Joy Sedum	Pink	Late Summer	1.5'-2'	2'	***	۵	A; Butterfly host plant
Santolina chamaecyparissus	Gray Santolina	Yellow	Mid-Summer	1.5'-2'	1.5'-2'	***	۵	A A
Sphaeralcea munroana	Tall Globernallow	Pink, Orange	Late Spring, Early Summer	1'-2'	.5'-1'	***	۵	
Sphaeralcea coccinea	Globe Mallow	Red, Orange	Spring, Summer, Early Fall	1'-1.5'	1'	***	۲	A; Wildflower for natural areas

LEG	END									
	erred Species		Do not over water			Abbreviations for Recommended District/Area: UC = Urban Core R = Residential				
Alloy	ved Species	-	Protect from sun an	nd wind						
	-					I = Industrial				
	Native*		Moisture Rating (L	ow Moisture – H	Iigh Moisture)	P = Parks				
	Pollinator**	*	Sun Exposure Ratin	ng (No Sun – Fu	ll Sun)	A = All districts/areas (excluding natural areas)				
n	Height	Spread	Sun/Shade Tolerance	Moisture Needs		Notes				
y Fall	4'-5'	2'-5'	***	⊘→						
oring	1"	12"	***		P, R, UC					
d-	3"	12"	***	•	P, R, UC					
nmer,	12"	12"	***	•	P, R, UC					
	24"	18"	**	۵	* P, R					
	6"	18"	***	۵	* * A; N	Not long-lived; Low priority				
nmer,	18"	18"	***	۵	<b>P</b> , R, UC					
ring,	3"	18"	**	۵	💓 P, R, UC	, Streetscapes				
ring	1"	18"	***	•	P, R, UC	, Streetscapes				
	3"	18"	***	۵	P, R, UC	, Streetscapes				
ring	2"	18"	**	۵	💓 P, R, UC	, Streetscapes				
	2'-3'	2'-2.5'	***	۸ ۸	• P, R, UC	, Streetscapes				
ring, d- ner, ll	6"	8"	<del>`*`***</del>	۵	<b>₩</b> P; Self-see	eds				
nmer, æ Mid	6"	18"	***	۵	₩ A; Syn. E	pilobium canum				
	12"	12"	***	⊘→●	* * P					
			,							
	1.5'-2.5'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$						
	12"	12'	***	٢						
	12"	12"	***	•		attractive in landscape				

				GEND							
3 <sup>11</sup>		Pro	eferred Species	۲	Do not over water		<b>Abbreviations for Recommended District/Area:</b> UC = Urban Core				
			All	owed Species	A	Protect from sun a	nd wind	R = Residential			
	<b>RA</b> APPROVED P	ρι αντ ι ιςτ	*	Native*		Moisture Rating (I	.ow Moisture – H	ligh Moisture)	I = Industrial P = Parks		
						Sup Europause Dat:	na (Na Sun Eu	A = All districts/areas (excluding natural areas)			
PERENNIALS & GRASSI	ES (Continued)			Pollinator**	×	Sun Exposure Rati	ng (ino Sun – Fu	ll Sun)			
Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs		Notes		
FORBS											
Stanleya pinnata	Princes Plume	Yellow	Spring, Summer, Early Fall	4'-5'	2'-5'	***	⊘→●				
Thymus neiceffii	Juniper Leaf Thyme	Magenta	Early Spring, Mid Spring	1"	12"	***		P, R, UC			
Thymus serpyllum	Creeping Thyme	Dark Pink	Early Summer, Mid- Summer	3"	12"	***	۵	• P, R, UC			
Thymus vulgaris	Common Thyme	Light Purple	Late Spring, Early Summer, Mid-Summer	12"	12"	***	۵	P, R, UC			
Tradescantia occidentalis	Spiderwort	Purple	Summer	24"	18"	**	۵	* P, R			
Verbena bipinnatifida wrightii	Wild Verbena	Purple	Summer	6"	18"	***	۲	<b>★</b> ₩ A; N	lot long-lived; Low priority		
Veronica austriaca	Broadleaf Speedwell	Blue	Late Spring, Early Summer, Mid-Summer	18"	18"	***	۲	💓 P, R, UC			
Veronica filiformis	Creeping Speedwell	Light Blue	Early Spring, Mid Spring, Late Spring	3"	18"	**	۵	💓 P, R, UC	, Streetscapes		
Veronica liwanensis	Speedwell	Blue	Mid Spring, Late Spring	1"	18"	***	۲	P, R, UC	, Streetscapes		
Veronica pectinata	Wooly Speedwell	Blue	Mid Spring	3"	18"	***	۲	💓 P, R, UC	1		
Veronica repens	Creeping Speedwell	White, Cream	Mid Spring, Late Spring	2"	18"	**	۲	<b>P</b> , R, UC	, Streetscapes		
Veronica spicata	Veronica	Blue	Summer	2'-3'	2'-2.5'	***		P, R, UC	, Streetscapes		
Viola corsica	Corsican Violet	Violet, Purple	Mid Spring, Late Spring, Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	6"	8"	<del>````````````````````````````````````</del>	۵	<b>₩</b> P; Self-see	eds		
Zauschneria latifolia var. arizonica	Hardy Hummingbird Trumpet	Dark Orange	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	6"	18"	***	۵		pilobium canum		
Zinnia grandiflora	Plains Zinnia	Yellow	Summer	12"	12"	***	♦	* P			
GRASSES											
Bouteloua curtipendula	Side Oats Gramma	Insignificant	Summer	1.5'-2.5'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$				
Bouteloua gracilis	Blue Grama	Insignificant	Summer	12"	12'	***	۲				
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	Golden	Summer	12"	12"	***		A; Very a	attractive in landscape		

## PERENNIALS & GRASSES (Continued)

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
	9	UC = Urban Core
Allowed Species	Protect from sun and wind	R = Residential
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	A = All districts/areas (excluding natural areas)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
GRASSES		•						
Buchloe dactyloides	Buffalograss	Insignificant	Summer	6"	12"	***	۵	A; Turf o
Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Insignificant	Late Spring, Summer, Fall, Winter	3'-5'	1.5'-2.5'	***	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Often cut ba
Festuca glauca 'Elijah Blue'	Blue Fescue	Green Purple	Summer	.75'-1'	.5'75'	***	⊘→♦♦	А
Miscanthus sinensis 'Morning light'	Maiden Grass	Insignificant	Fall, Winter	4'-6'	2.5'-4'	** *	• •	A; Use natives v Aggressive
Miscanthus sinensis 'Purpurascens'	Purple Maiden Grass	Insignificant	Fall, Winter	3'-4'	2'-3'	***	• •	A; Use natives v
Muhlenbergia reverchonii Undaunted	Undaunted Ruby Muhly Grass	Pink	Fall	30"	30"	***	•	A; Glows pink i
Panicum virgatum 'shenandoah'	Red Switch Grass	Insignificant	August, Fall, Winter	3'-4'	3'-4'	<del>★★→★★</del> ★	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A A
Orzyopsis hymenoides	Indian Ricegrass	Insignificant	Summer	36"	18"	***	۵	
Panicum virgatum	Switchgrass	Insignificant	Summer	36"	24"	***	•	A; Any c
Schizachyrium scoparium	Little Bluestem	Insignificant	Fall	4'	30"	***	•	
Sorghastrum avenaceum (nutans)	Indian Grass	Insignificant	Summer	5'	4'	***	•	
Sporobolus heterolepis	Prairie Dropseed	Insignificant	Summer, Fall	2'-3'	2'-3'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	

Notes
rf option
t back in Spring
ves when possible – not for use adjacent to native areas;
res when possible; Fall color
nk in the sunlight
Α
ny cultivar

No

### TREES

LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Name Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES		Ornamental	Coniferous	Deciduous							
Acer grandidentatum	Big-Tooth Maple			x	Yellow Green	Late Spring	10'-30'	20'-30'	<del>★★→★★</del>	••	* P, I, UC
Acer platanoides	Norway Maple			x	Yellow Green	Early Spring	50'	50'	** **	••	I, P; Potential to be invasive
Acer rubrum	Red Maple			x	Red	Early Spring, Mid Spring	70'	50'	** *	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	А
Acer tataricum 'HotWings'	Hot Wings Maple	x			Light Green	Mid Spring	20'	20'	** *	••	A; Showy seeds, compact size
<i>Acer x freemanii '</i> Autumn Blaze'	Autumn Blaze maple			x	N/A	N/A	35'	25'	***	••	A; Fall color, hardy
Aesculus glabra	Ohio Buckeye			x	Light Yellow	Late Spring, Early Summer	40'	40'	** *	••	₹ P, R; Fragrant flowers; Fall color; Has been invasive in other states
Aesculus hippocastanum	European Horse Chestnut			x	Light Pink	Late Spring	75'	65'	** *	••	A; Has been invasive in other states
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry			x	White	Mid Spring	15'-25'	15'-25'	** *** *	••	¥₹ A
Carpinus betulus 'Fastigiata'	European Hornbeam			x	Yellow Green	Early Spring	30'-40'	20'-30'	** *	••	А
Celtis occidentalis	Common Hackberry Western			x	Green	Mid Spring, Late Spring	60'	50'	***	•	* I, P (in small groupings); Attractive when large, high bird habitat value and butterfly host
Cercis canadensis	Redbud	x		x	Pink	Early Spring, Mid Spring	30'	30'	*	••	P; Understory tree; Needs protection; Small scale ornamental; Early nectar source
Cercis 'Hearts of Gold'	Eastern Redbud	x		x	Light Red	Early Spring, Mid Spring	25'	25'	*	• •	P; Understory tree; Needs protection; Small scale ornamental; Early nectar source
Cupressus arizonica	Arizona Cypress		x		Insignificant	Spring	30'-40'	15'-25'	***	•	
Crataegus crus-galli 'Inermis'	'Inermis' Cockspur Hawthorn			x	White	Late Spring, Early Summer	25'	20'	***	٢	YF P, R, UC; High habitat value, early blooms and fall berries
Crataegus x mordenensis 'Toba'	Toba Hawthorn			x	Pink	Mid Spring, Late Spring	25'	20'	***	٢	<b>X</b> A; High habitat value, early blooms and fall berries
Gleditsia triacanthos f. inermis 'Imperial'	Imperial Honeylocust			x	Yellow Green	Early Spring, Mid Spring	50'	40'	***	•	I, P, Streetscapes; High priority; Not messy; Light shade; Tough

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

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ure)	P = Parks								
	A = All districts/areas (excluding natural areas)								

 LEGEND

 Preferred Species

 Allowed Species

 Allowed Species

 Moisture Rating (Low Moisture – High Moisture

Sun Exposure Rating (No Sun – Full Sun)

Pollinator\*\*

**TREES** (Continued)

Scientific Name	Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
TREES		Ornamental	Coniferous	Deciduous							
Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honeylocust			x	Yellow Green	Early Spring, Mid Spring	35-45'	25-35'	***	۵	<b>N</b> I, P,
Gymnocladus dioica	Kentucky Coffee Tree	х		x	Greenish White	Late Spring, Early Summer	60'-80'	40'-55'	***	• •	А
Juniperus chinensis	Chinese Juniper		х		N/A	N/A	20'	6'	***	•	A; Staple p
Juniperus scopulorum	Rocky Mountain Juniper		x		N/A	N/A	30'	12'	**	٠	A; St
Juniperus virginiana 'cupressifolio'	Hillspire Juniper			x	N/A	N/A	15'-30'	5'-15'	***	• •	А
Koelreuteria paniculata	Golden Rain Tree	x		x	Yellow	Early Summer, Mid- Summer	30'	30'	***	٢	P, St
Magnolia stellata	Star Magnolia	x		x	White	Early Spring	20'	15'	<del>````````````````````````````````````</del>	• •	by frost
Malus 'Adams' or other cultivars	Flowering Crabapple	x		x	Pink	Mid Spring	20'	15'	**	• •	<b>P</b> , R
Malus floribunda	Japanese Crabapple	x		x	Light Pink	Early Spring, Mid Spring, Late Spring	20'	30'	**		A; Fi
Phellodendron amurense	Amur Cork Tree			x	Yellow Green	Late Summer, Early Fall	20'	30'	***	٠.	A; Habitat
Picea abies	Norway Spruce		х		N/A	N/A	60'	30'	***	٠.	A; Shelter;
Picea engelmannii	Engelmann Spruce		x		N/A	N/A	100'	15'	***	♦ ♦	(to h
Picea glauca	White Spruce		x		N/A	N/A	60'	20'	***	♦ ♦	А
Picea pungens	Colorado Spruce		x		N/A	N/A	60'	20'	***	٠.	*(to h
Pinus flexilis 'Vanderwolf's pyramid'	Limberpine			x	N/A	N/A	20'-30'	10'-15'	***		*(to h
Pinus heldreichii	Bosnian Pine		х		N/A	N/A	70'	40'	***	۵ ۵	A; Shelter;
Pinus edulis	Pinion Pine			x	Yellow	Spring	20'-30'	10'-20'	***	۵	* A; W
Pinus nigra	Austrian pine			x	N/A	N/A	40'-60'	10'-40'	***	• •	A
Pinus ponderosa	Ponderosa Pine			x	N/A	N/A	60'-125'	25'-30'	***		A; K
Populus x acuminata	Lanceleaf Cottonwood				Green, Brown	Spring	40'-60'	30'-40'	***		
Populus angustifolia	Narrowleaf Cottonwood				White	Spring	30'-50'	20'-30'	***	۵.	<b>P</b> , I;

Abbreviations for Recommended District/Area:
UC = Urban Core
R = Residential
I = Industrial
P = Parks
A = All districts/areas (excluding natural areas)

Notes

P, Streetscapes

e plantings throughout; Provides shelter; Resilient

Staple plantings throughout; Provides shelter; Resilient

Streetscapes; Tolerant of alkalinity

A; A novelty in protected spot; Blooms are often damaged

R, Streetscape; Honeybee forage; Spring interest

Fragrant flowers

itat value for birds, butterflies; Is invasive in NE US eer; Attracts birds; Invasive in northern US

high elevations) A; Shelter; Winter interest

high elevations) A; High habitat value; Easily available

o high elevations) A er; Winter interest

Will die from over watering; Keep out of Kentucky Bluegrass

Keep out of Kentucky Bluegrass

P, I; Spreads aggressively I; Spreads aggressively



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Moistu
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

## TREES (Continued)

Scientific Name	Common Name		Туре	:	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES		Ornamental	Coniferous	Deciduous							
Populus sargentii	Plains Cottonwood				Yellow	Late Winter, Early Spring	60'-80'	50'-60'	***	••	* * * * ; A
Prunus cerasifera	Cherry Plum	х		x	Light Pink	Early Spring, Mid Spring	25'	20'	***	••	₩ A; Early bloomer; Fruit for birds
Prunus maackii	Manchurian Cherry	x		x	White	Mid Spring, Late Spring	30'	25'	****	••	A; Early bloomer; Fruit for birds
Prunus padus	Bird Cherry	x		x	White	Mid Spring, Late Spring	30'	30'	**	••	A; Early bloomer; Fruit for birds
Prunus sargentii	Sargent Cherry	x		x	Pink	Mid Spring	25'	15'	***	••	A; Especially hardy, slightly later blooming
Prunus virginiana 'Shubert'	Canada Red Chokecherry	x		x	White	Spring	30'	25'	***	۵	A; Dark foliage provides nice contrast
Ptelea trifoliata	Common Hoptree			х	Light Green	Early Summer	20'	20'	¥	•	P, R, Streetscapes; Not easy to find
Pyrus salicifolia 'Pendula'	Willowleaf Pear	x		x	White	Mid Spring	25'	15'	** **	••	A; Tolerant of clay and may drought-tolerant once established
Pyrus ussuriensis	Chinese Pear	х		х	White	Mid Spring	40'	40'	***	••	А
Quercus alba	White Oak			х	N/A	N/A	70'	50'	***	• •	А
Quercus bicolor	Swamp White Oak			x	Yellow Green	Mid Spring	60'	60'	<del>````````````````````````````````````</del>	• •	А
Quercus rubra	Northern Red Oak			x	Yellow Green	Late Spring	80'	75'	***	• •	А
Quercus imbricaria	Shingle Oak			x	Yellow Green	Mid Spring	70'	60'	***	• •	А
Quercus macrocarpa	Bur Oak			x	Yellow Green	Mid Spring	80'	80'	***	•	Å A
Quercus muehlenbergii	Chinkapin Oak			x	Yellow Green	Mid Spring	50'	50'	***	•	А
Quercus palustris	Pin Oak			x	Yellow Green	Mid Spring	70'	60'	***	$\blacklozenge \blacklozenge \dashv \spadesuit \blacklozenge \blacklozenge \blacklozenge$	A
Quercus robur	English Oak			х	Yellow Green	Mid Spring	60'	40'	***	• •	A
Quercus robur 'Fastigiata' SKYROCKET	Fastigiate English Oak			x	Yellow Green	Mid Spring, Late Spring	60'	20'	***	• •	Α
Quercus rubra	Red Oak			х	Yellow Green	Late Spring	60'	60'	***	• •	A
Quercus shumardii	Shumard Oak			x	Yellow Green	Mid Spring	50'	40'	***	•	Α
Sophora japonica	Japanese Pagoda Tree	x		x	Cream	Mid-Summer, Late Summer	50'	45'	***	••	Α
Styphnolobium japonicum	Pagoda Tree	x		x	White	Mid-Summer, Late Summer	75'	75'	<del>**</del> **	• •	А
Syringa pekinensis 'Morton'	Peking Lilac	x		x	White	Early Summer	20'	15'	***	•	N¥ A
Tilia cordata	Littleleaf Linden			х	Light Yellow	Early Summer	40'	35'	***	• •	💥 A; Fragrant

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

	Abbreviations for Recommended District/Area:
	UC = Urban Core
	R = Residential
	I = Industrial
ure)	P = Parks
	A = All districts/areas (excluding natural areas)

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 LEGEND

 Preferred Species
 Do not over water

 Allowed Species
 Protect from sun and wind

 \*\*\*
 Native\*

 \*\*\*
 Moisture Rating (Low Moisture – High Moisture)

 \*\*\*
 Pollinator\*\*

 \*\*\*
 Sun Exposure Rating (No Sun – Full Sun)

TREES (Continued)

Scientific Name	Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
TREES		Ornamental	Coniferous	Deciduous							
Syringa reticulata	Japanese Tree Lilac	x		x	Cream	Late Spring Early Summer	25'	20'	<del>★★→★★</del>	۵	<b>X</b> A; H
Tilia americana	American Basswood			x	Light Yellow	Early Summer	50'	40'	***	• •	P, St pyramidal
Tilia amurensis	Linden			x	Light Yellow	Late Spring	75'	50'	****	۵	• A; A
Tilia cordata	Littleleaf Linden			x	Light Yellow	Early Summer	40'	35'	***	• •	A; Fi
Tilia tomentosa	Silver Linden			x	Yellow Green	Late Spring, Early Summer	60'	45'	***	• •	A; Fr
Tilia x flavescens 'Glenleven'	Glenleven Linden			x	Yellow Green	Late Spring, Early Summer	75'	50'	<del>**→**</del>	• • •	A; Fr
Ulmus 'Frontier'	Frontier Elm			x	Insignificant	Mid Fall	35'	25'	***	• •	А
Ulmus 'Heritage'	Heritage elm				Insignificant		40'	30'	***	۵ ۵	А
Ulmus 'Morton' Accolade	Accolade Elm			x	Insignificant	Early Spring, Mid Spring	70'	40'	***	۵ ۵	А

	Abbreviations for Recommended District/Area:						
	UC = Urban Core						
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ure)	I = Industrial						
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	A = All districts/areas (excluding natural areas)						
	_						

N	otes	

High value ornamental providing fragrance in late spring

Streetscapes; Reliable summer honeybee forage; Fragrant; Nice al habit

Adapts to many soils; Good urban tree; Fragrant

Fragrant

Fragrant

Fragrant

# CENTERRA DO NOT PLANT LIST

### SPECIES NOT TO BE PLANTED IN CENTERRA

Scientific Name	Common Name	Notes
TREES		
Acer palmatum	Japanese Maple	This is very hard to grow
Acer saccharum	Sugar Maple	Chlorosis
Acer tataricum	Tatarian maple	Chlorosis, "Hot Wings" is allowed
Acer triflorum	Three-flowered Maple	
Betula x plettkei 'Golden Treasure'	Dwarf Birch	
Cornus kousa	Chinese Dogwood	Borderline hardy
Cornus mas	Cornelian Cherry Dogwood	Borderline hardy
Juniperus virginiana	Eastern Red Cedar	Invasive
Pinus aristata	Bristlecone Pine	Novelty; maintenance picky
Pinus contorta	Lodgepole Pine	Novelty; maintenance picky
Populus tremuloides	Quaking Aspen	
Prunus sibirica	Siberian Apricot	Do not recommend - fruit
Prunus ssp.	Plum	Do not recommend - fruit
Robinia pseudoacacia	Black Locust	Suckers, thorny, borer damage
Thuja occidentalis	Arborvitae	
Ulmus americana	American Elm	
Ulmus parvifolia	Chinese Elm	Probably not hardy
Zelkova serrata	Japanese Zelkova	
Zelkova serrata 'Green Vase'	Green Vase Zelkova	
Zelkova serrata 'Musashino'	Musahino Zelkova	
Zelkova serrata 'Village Green'	Japanese Zelkova	
SHRUBS		
Buddleja alternifolia	Fountain Butterflybush	Invasive potential
Buxus 'Green Gem'	Green Gem Boxwood	Sun and windburn
Erica carnea	Winter Heath	Will not survive
Genista tinctoria	Dyer's Broom	Possible invasive
Genista tinctoria 'Royal Gold'	'Royal Gold' Broom	
FORBS		
Aegopodium podagraria	Bishop's Goutweed	Do not recommend; invasive potential
Aquilegia alpina	Alpine Columbine	Will not survive
Astragalus adsurgens	Prairie Milkvetch	
Astragalus agrestis	Field Milkvetch	
Astragalus ceramicus	Painted Milkvetch	
Astragalus crassicarpus	Ground Plum	
Astragalus gracilis	Slender Milkvetch	
Astragalus missouriensis	Missouri Milkvetch	

### SPECIES NOT TO BE PLANTED IN CENTERRA (CONTINUED)

Scientific Name	Common Name	Notes
FORBS		
Astragalus mollissimus	Wooly Milkvetch	
Astragalus pectinatus	Narrowleaf Milkvetch	
Chamaemelum nobile	Roman Chamomile	
Dicentra eximia	Bleeding Heart	Won't thrive in this climate
Epimedium x rubrum	Bishop's Hat	Won't thrive in this climate
*	_	Other nonnative spurges can be
Euphorbia polychroma	Cushion Spurge	invasive
Gypsophila paniculata	Baby's Breath	Invasive
Gypsophila repens	Creeping Baby's Breath	
Lavandula	Lavender	French and Spanish spp. not hardy
Leucanthemum x superbum	Shasta Daisy	Potentially invasive
Lupinus pusillus	Annual Lupine	Concern about invasive
Nepeta cataria	Catnip	Weed, Catnip escapes frequently into natural areas and has become a weed.
Parthenium integrifolium	Wild Quinine	
Persicaria polymorpha	Knotweed	Invasive potential, 3 species of knotweed listed on CC noxious weed list - this one is not
Persicaria virginiana	Jumpseed	Invasive potential
GRASSES (NOT TO BE USED IN SEED M	(IXES)	
Agropyron desertorum, A cristatum	Crested Wheatgrass	
Agropyron intermedium	Intermediate Wheatgrass	
Agropyron repens (Elytrigia repens or Elymus repens)	Quackgrass	
Agrostis stolonifera, A.alba, A. gigantea, A. palustris	Creeping Bentgrass	
Alopecurus pratensis	Meadow Foxtail	
Bromopsis inermis (Bromus inermis)	Smooth Brome or Hungarian Brome Grass	
Dactylis glomerata	Orchardgrass	
Festuca arundinacea (Lolium arundinaceum)	Tall Fescue (adjacent to wetlands)	
Festuca ovina var. ovina	Hard Fescue or Sheep Fescue	
Festuca pratensis	Meadow Fescue	
Phalaris arundinacea (Phalarioides arundinacea)	Reed Canary Grass	
Phleum pratense	Timothy	
Poa compressa	Canada Bluegrass	
Poa pratensis	Kentucky Bluegrass (adjacent to wetlands)	
Saccharum (erianthus) ravennae	Hardy Pampas Grass	

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2019)

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# **CENTERRA** SEEDING, MULCHING AND SOIL PREPARATION SPECIFICATIONS

### **1.0 SOIL PREPERATION**

### 1.1 Soil Amendments

### A. Fertilizer

Phosphorous fertilizer is typically deficient in Colorado soils. Because phosphorous is a promoter of root growth it is extremely beneficial to new seedlings. Phosphorous is also immobile in clay soils, so it needs to be applied previous to tillage work so it will be incorporated into the root zone.

All areas shall be fertilized with 18-46-0 at 150 lbs/acre or an equivalent fertilizer that will provide no less than 27 lbs/acre of nitrogen and 69 lbs/acre of phosphorous. Empty fertilizer bags or weight ticket shall remain available for inspection.

### **B.** Compost

All irrigated turf grass areas shall receive compost at the rate of 3 cubic yards per 1000 sq ft. Native grass areas shall receive compost at 2 cubic yards per 1000 sq ft. Weight tickets shall be available for inspection.

The compost shall be Biocomp Class 1 compost from A-1 Organics, or approved equivalent.

In wetland or moist meadow areas no compost will be required. The goal here is to keep nutrients out of the wetland areas to discourage rampant growth of cattails.

### 1.2 Tillage

Tillage is one of the most important steps that is often overlooked. All areas shall be thoroughly tilled to a depth of 6 - 8 inches after the soil amendments have been applied. This can be accomplished with rototilling machinery, or in larger areas, agricultural machinery such as chisel plows and/or discs. After tillage is complete, no dark areas resulting from the compost application shall be observed.

### 1.3 Fine Grading

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After tillage is complete all areas shall be fine graded.

Grading for turf areas will require more detail than native areas. Turf areas shall be smooth, even and 1"below adjacent sidewalks and curbs.

The grade for native areas can be left somewhat rougher or less detailed, because these areas will be managed with a larger class of machinery, i.e. tractors and brush hog type rotary mowers.

### 2.0 SEED MIXES

### 2.1 Seed Selection Process

Seed mix selection must be reviewed and approved by DRC Member and High Plain Environmental Center Executive Director Jim Tolstrup.

### There are three steps in the seed selection review process:

1) During the design phases

2) The seed mix bags must be signed off on by Jim Tolstrup before spreading the seed.

3) At the time of compliance inspection

### 2.2 Turf Seeding

### A. Tall Fescue Turf Areas

These areas shall be seeded with Sharp Bros Seed Dura Turf Lawn Mix, or equivalent at the rate of 8 lbs/1000 sq ft:

Turf type tall fescue	80%
Kentucky bluegrass, turf quality	10%
Ryegrass, turf quality	10%

### **B. Kentucky Bluegrass Turf Areas**

These areas shall be seeded with Sharp Bros Seed Premium Lawn Mix, or equivalent, at 3 lbs/1000 sq ft.

### 2.3 Native Grass Seeding

A. Native Grass Turf Areas - "Enhanced" short native grass that can be left un-mowed adjacent to formal landscaped areas

These areas shall be seeded with the following mix seeded at 2 lbs. PLS/1000 sq. ft. or 86 lbs./acre.

Buffalo grass, Cody or Bowie	40%
Blue grama, Alma or Bad River	20%

Sideoats gra Slender Whe

### B. Upland Native Areas - for open space areas

Slender wh Western wh Green need Canada wile Beardless w Annual rye Blue grama Sideoats gra Little bluest Yellow Ind Tomahawk Big bluester Switchgrass Alkali sacat

### Total

season grasses:

**Big Bluester** Yellow Ind Switchgrass

These added to the Wet Meadow mix totals 20 pounds/acre.

These areas will likely be broadcast seeded and not suitable to drill seeding because of their size and/or they may be wet. To facilitate broadcasting the seed more evenly, rice hulls should be added to bulk up the mix.

ama, Vaughn or El Reno	
neatgrass	

20% 20%

	Lbs. PLS/acre	Seed Box Designation
neatgrass	3	smooth
heatgrass, Rosana	3	smooth
dle grass, Lodorm	1	smooth
ldrye, Mandan	1	smooth
vildrye, Shoshone	.5	smooth
2	2	smooth
a, Bad River	.5	fluffy
ama, Vaughn	1.5	fluffy
stem, Camper	1.5	fluffy
liangrass	1	fluffy
x or Neb 54		
em, Pawnee	1	fluffy
s, Blackwell	.5	fine
ton	.25	fine

### 16.75 pounds pure live seed per acre

### C. Wetland or Wet Meadow Areas - for wet pond bottoms

These areas shall be seeded with High Plains Wet Meadow Mix by Western Native Seed or equivalent at the rate of 10 lbs./acre In addition to the wetlands mix above add the following tall warm

	Lbs. PLS/acre
em, Kaw or Pawnee	5
dian grass, Tomahawk or Neb 54	4
ss, Blackwell	1

# **CENTERRA** SEEDING, MULCHING AND SOIL PREPARATION SPECIFICATIONS

### 2.4 Erosion Control or Overlot Areas - for temporary soil stabilization

These areas shall be drill seeded with the following mix:

### Lbs PLS/acre

Slender wheatgrass	5
Western wheatgrass, Rosana	3
Canada wildrye, Mandan	3

### Total 11 pounds Pure Live Seed/acre

### **3.0 SEED APPLICATION**

### 3.1 Seed Drill

Native seeding must be completed with a native grass drill that has 3 seed boxes that are capable of metering and applying fine seed, fluffy seed and smooth seed. These three types of seed are designated on the seed mixes. Examples are smooth seed –

wheatgrasses, fluffy seed - yellow Indian grass, and fine seed - alkali sacaton.

For the turf grasses or other mixes, small areas can be hand broadcast or a brillion drill or other appropriate drill should be used.

### 3.2 Seed Tags

Native seed mixes must be ordered so that fluffy seed, fine seed and smooth seed are bagged separately and can be placed in the appropriate seed box for application. Tags for all mixes including the native seed, must be provided for inspection prior to any seed being planted.

### 4.0 MULCH

### 4.1 Hydromulch

Native seed areas and turf grass areas shall be mulched with virgin woodfiber hydromulch with steam separated fibers. Recycled paper hydromulch or ground wood chip hydromulch are not acceptable. The rate of application shall be 2500 lbs/acre.

### 4.2 Straw Mulch

Overlot areas or temporary erosion control seeding shall be mulched with weed free certified straw at a rate of 2 tons/acre, crimped 3 - 4 inches into the soil surface.

### **5.0 SITE CLEANUP**

Hydromulch overspray must be cleaned off all sidewalks, fences, light poles switch cabinets and landscape material. When straw mulching is complete all twine or bale wrap material must be picked up and removed.

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### 7.0 BUILDER'S SIGNAGE STANDARDS

### 7.1 Model Home Monument Sign or Coming Soon Sign

Builders of model/show homes are permitted to submit for review, one temporary monument sign identifying their corporate name or a "Coming Soon" sign for their model home complex. The monument sign shall present a clear message without visual clutter. The monument sign is to be designed in accordance with the guidelines provided below and submitted to the Design Review Committee ("DRC") for review and approval. Installation of signage shall not occur without DRC approval. Signage must be removed at the time when the builder's lots have been exhausted or at the time when the model / show home has been sold.

Signage shall be designed to fit within the Lakes at Centerra Branding. Designs must incorporate the Lakes at Centerra logo. See Figure below for an example.

Signage is required to be placed within the property lines. No signs are allowed within the street ROW.

Each sign "face" area shall not exceed 24 square feet. Overall signage height shall not exceed 6 feet from finished grade.

Monument signage will be designed to last the length of its intended use without noticeable deterioration, fading, warpage, peeling, or blistering. The DRC reserves the right to cause removal of any sign deemed to be in violation from the previously mentioned items.

# 7.2 Other Model Home Signs Allowed to Facilitate Sales Operations Include:

- a. One A-Frame type sign stating "Open" to be located only in the driveway of the Sales Office. It shall not be located in right-of-way of the street or on the sidewalk.
- b. Signs indicating the names of floorplan of each model. Maximum two (2) square feet in size for each sign.

#### 7.3 Builder Model Home Complex Pillar Signs

Builders of model/show homes will be allowed one set of three pillar signs per Builder Model Home Complex (minimum of 2 model homes in one location will be considered as a complex). Pillar signs shall comply with the design specifications show in Figure 7.1. Pillar signs may ONLY display words like Model Homes, Homes for Sale, Available, Price Range such as "Low 400's", Builder name and logo, etc. See Figures 7.1for examples of sign verbiage, approved sign colors and builder name and logo layout. Sign design and location must be submitted to the Design Review Committee ("DRC") for review and approval. Installation of signage shall not occur without DRC approval. Signage must be removed per the Developer Covenants. Signage is required to be placed perpendicular to the street and within the property lines. No signs are allowed within the street ROW.

### FIGURE 7.1 - Model Home Monument Sign Examples See Section 7.1 for Details





### 7.4 Builder Model Home Complex Grand Opening Banners

A single grand opening banner is allowed when a new model home complex opens to the public. The banner may be in color and size should not exceed 50 square feet.

Banner display shall include language such as Model Homes, Grand Opening, Now Open, Homes for Sale, Available, Price Range, Builder Name and Logo. Other language shall be submitted to the DRC for review and approval.

The banner may be installed within the boundary of the builder's model home lot. Banners are not allowed to encroach into public ROW or common areas.

The banner may be displayed for a period of 30 consecutive days. This is a one-time allowance.

The banner must be professionally produced and hung and kept in a tidy manner, free from rips and fading.

# 7.5 Builder Model Home Complex Giant Advertising Balloons

Builders may install a giant advertising balloon at each of the Builder Model Home Complexes based on the following criteria:

Number: Builders may install a single (one) Giant Advertising Balloon per model home complex using a professional vendor such as Balloon Biz.

Color: Green balloon with rainbow pennants. Green was selected as it is a consistent color tied to the Lakes at Centerra Brand for the Community. The intent is to have a consistent color theme that draws attention to the Lakes at Centerra community while giving builders the opportunity to showcase their sales offices at their model home complexes.

Height: The balloon may be installed at a maximum height of 105'.

Duration: The balloon is allowed to be installed on Saturday morning and must be removed by the sales team by the end of Sunday by 8:00pm.

Builders are responsible for the cost associated with the balloon installation, are liable for the balloon as well as any damages resulting from the balloon.

### 7.6 Flagpoles

Flagpoles are limited to a total of two per model/show home complex for each builder. Flags are limited to the U.S. flag and one corporate/identity flag. The proposed flags and pole locations must be submitted to the Design Review Committee ("DRC") for review. Installation of poles shall not occur without DRC approval. Poles shall be constructed of seamless metal tubing. Black, dark bronze or brushed aluminum are approved colors.

Poles shall not exceed 25' in height. Flags shall not exceed 5' x 8' in size.

Uplighting flag/flag pole is prohibited. Illumination may only be accomplished using a downlit fixture such as the FLAGPOLE BEACON or similar fixture.

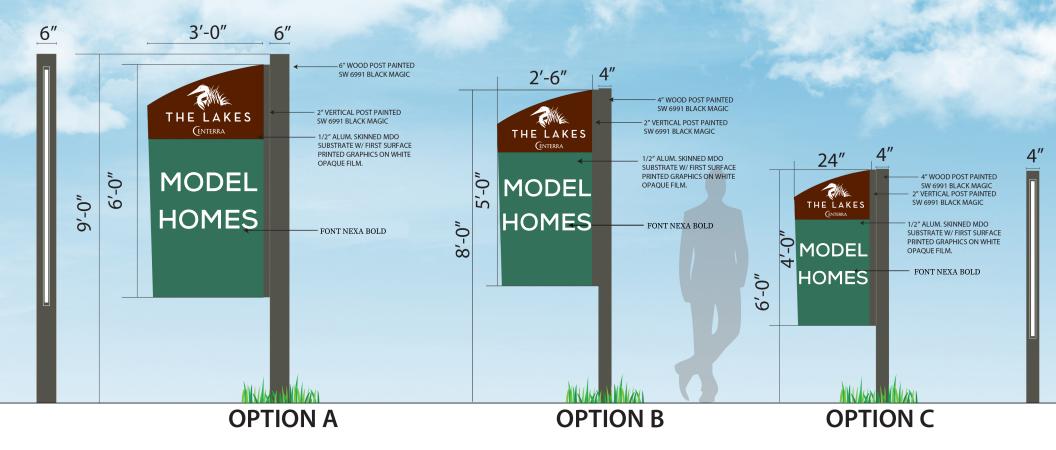
### 7.7 Lot Sign Standards

To enhance the community branding in partnership with the individual brands of the home builders, all builders are required to use the lot sign detailed in Figure 7.2 for communicating the status of a lot or house.

### 7.8 Prohibited Signs

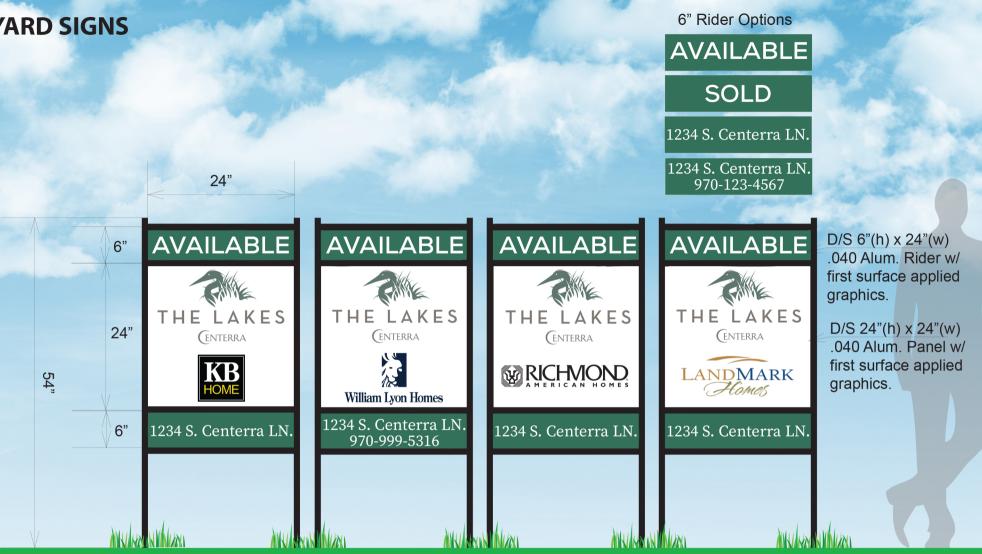
- a. Animated and intensely lighted signs. No sign shall be permitted which is animated by means of scintillating, blinking or traveling lights or any other means not providing constant illumination.
- b. Moving signs, No sign or any portion thereof shall be permitted which moves or assumes any motion constituting a non-stationary or non-fixed condition, changing signs or multiprism units.
- c. Changeable Copy with the exception of Lot Signs in Section 7.5 above.
- d. Roof Signs
- e. Portable Signs, including signed vehicles
- f. Hand-lettered Signs
- g. Paper or Cardboard Signs (attached to or temporarily placed within windows of buildings and/or affixed to the exterior or interior of doors, handbills, and hand-held signs
- h. Signs in the Public Right-of-Way (R.O.W.)
- i. Internally illuminated awnings
- j. Inflatable features
- k. Neon or flexible LED signs
- 1. Sign held by people, animals, or people in costume
- m. Plastic Signs (formed plastic or injection molded)
- n. Miscellaneous signs and posters. The tacking, pasting or otherwise affixing of signs of a miscellaneous character, visible from a public way, located on the walls of buildings, barns, windows, sheds, on trees, poles, posts, fences or other structure
- o. Other Signs as identified in the Master or Community Association Covenants
- p. "Bandit" signs anywhere in the community or off-site placed along roads are strictly prohibited.

# **RESIDENTIAL PILLARS**





# **YARD SIGNS**





### **8.0 CONSTRUCTION SITE POLICY**

#### 8.1 Concrete Wash Out Site

Each builder must maintain a concrete wash out site on their property. Concrete trucks must dump remains and wash down ONLY at the designated location.

### 8.2 Construction Debris

Upon completion of each of the following phases of home construction, each lot and appropriate surrounding areas of the streets shall be fully cleaned:

- a. Framing
- b. Roofing
- c. Siding
- d. Sheet-rocking
- e. Final Construction

#### 8.3 Blowing Trash and Trash Receptacles

Each builder will insure that blowing trash such as paper wrappers, drink containers and construction waste material and rubbish is picked up on a daily basis. A trash dumpster is required to be provided by the builder for each lot with a house under construction.

### 8.4 Street Cleaning

Each builder will insure that no mud or debris is tracked onto adjacent and surrounding streets and alleys. Mud and debris shall be removed immediately by an appropriate mechanical method (i.e. machine broom sweep, light duty front-end loader, etc.)

#### 8.5 Miscellaneous

All construction will strictly comply with the City of Loveland codes and hours of operation.

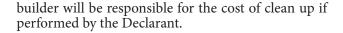
All construction traffic will drive only on the streets designated by the Declarant as approved construction routes and will drive at or below the posted speed limits.

No hunting, fishing, consumption of alcoholic beverages, narcotics or loitering is allowed on any part of The LAKES at CENTERRA at any time. Violators will be reported and prosecuted.

Radios that become an annoyance will not be permitted to remain in operation. Annoyance is defined as any radio that is the subject of a complaint by anyone in the community.

No equipment or vehicles will be allowed to park on parkways, medians, or on any property that is not either public ROW or the builder's own property. Streets cannot be blocked for any unreasonable length of time.

Erosion onto adjacent properties from a Lot is strictly prohibited and must be prevented. If erosion occurs, the



Any offsite property damage resulting from builder actions shall be immediately repaired at the expense of the builder.

### 8.6 Construction/Sales Trailer Policy

Builders are permitted to submit for review, temporary construction and/or sales trailers within the neighborhood they are building. Site plans following the minimum guidelines listed below must be submitted to the Design Review Committee ("DRC") for review.

- a. Trailers must be set back a minimum 20'-0" from the front property line.
- b. A 6'-0" height solid wood privacy fence must enclose the side and rear yards. (All builder items must be stored within this fenced area.)
- c. The front yard must be irrigated and sodded. One row of evergreen (5-gallon minimum) shrubs must be planted along the trailer foundation facing a street.
- d. A 4' wide concrete sidewalk must be provided from the street to the trailer entry



### 9.0 ADMINISTRATION

All of The LAKES at CENTERRA is annexed into the City of Loveland and zoned under the Millennium General Development Plan (GDP). The GDP has specific Performance Standards regulating residential development with regard to site planning and architecture. The GDP also prescribes the regulatory approval process regarding building permits and subdivision platting.

In addition to the GDP, these Design Guidelines will also be used by The Lakes at Centerra Design Review Committee relative to the review and approval of proposed residential development. The design review process encourages a high level of design quality and continuity within the overall community, while providing the flexibility needed to encourage creativity on the part of parcel developers and builders (and their consultants). All guidelines and standards are subject to the reasonable discretion of the DRC, which shall make final determinations in good faith.

The LAKES at CENTERRA is subject to the Association and its Covenants. These Guidelines are promulgated in accordance with the Covenants. The GDP and the Guidelines are the two primary documents governing residential development at Centerra. The Centerra Design Review Committee is mandated by both the GDP and the Covenants.

**9.1 DRC Jurisdiction.** No building, structure, fence, wall, landscaping or improvement of any kind or nature shall be erected, placed or altered on any Lot until plans and specifications have been first submitted to and approved in writing by the DRC, or a majority of its members.

The DRC shall have the right, power, and authority, but not the obligation, to establish and prescribe architectural restrictions and guidelines pertaining to items and topics such as (but not necessarily limited to):

- a. site plan showing the grading and drainage, footprint of the building, location of all existing trees (indicating size and type) and proposed improvements, including but not limited to, structures, patios, driveways, parking areas and structures, fences and walls;
- b. exterior elevations of all proposed buildings and structures;
- c. description and samples and quality of exterior materials, colors, textures and shapes of all buildings and structures;
- d. landscape plans, which shall include walkways, fences, walls, details, elevation changes, irrigation and watering systems, vegetation and ground cover (indicating size, spacing and quantity), and the proposed protection of existing trees and other desired vegetation;
- e. utility connections, including routing of electrical, gas, water, sanitary sewer, telephone cables and prewired CATV facilities;

- f. exterior illumination including location, size, type, color, and shielding;
- g. dimensional floor plan of all enclosed spaces and any garages or parking facilities (particularly where the garages face the street);
- h. surface drainage when proposed to be different from the City approved Subdivision Grading Plan;
- i. any other data or information requested or deemed reasonably necessary by the DRC.

The DRC shall have the right, privilege, and discretion, but not the obligation, to require that the builder/ Owner provide a topographical survey by a registered surveyor which shows existing conditions. The DRC is authorized and empowered to place specific requirements as the DRC deems necessary concerning the topography, grade, drainage, vegetation, view lines, fences, setbacks or other such comparable data that may pertain to a specific Lot. Requirements may vary from one Lot to the next.

- **9.2 Basis for Approval.** The Design Review Committee shall have the right to disapprove the Application submitted to it, whether a preliminary or final submittal, if any part of it is:
  - a. not in accordance with the Covenants, the GDP, the Design Guidelines or the Plat;
  - b. incomplete;
  - c. not in compliance with relevant approval requirements or regulations of local, state, federal or other governmental agencies;
  - d. deemed by the Design Review Committee, in the exercise of its reasonable judgment, to be contrary to the best interests of The LAKES at CENTERRA or the Owners; or
  - e. incompatible, in the reasonable judgment of the Design Review Committee, with the architectural style, quality or aesthetics of existing Improvements or development plans for proposed Improvements, based in part on the criteria set forth in the Design Guidelines.
- **9.3 Submittal Process.** The following is a general outline of the steps likely to be involved in the review of plans and specifications:
  - a. submit preliminary plans and specifications to the DRC;
  - b. submit final plans and specifications to the DRC; and
  - c. submit plans and specifications to the City of Loveland.

The DRC is also authorized to coordinate with the City of Loveland in connection with the applicant's observance and compliance of the construction standards



set forth in the Covenants, these Guidelines, and any bulletins or lot information sheets promulgated hereunder. However, the mere fact that the City of Loveland issues a building permit with respect to a proposed structure does not automatically mean that the DRC is obliged to unconditionally approve the plans and/or specifications. Similarly, the DRC's approval of any plans and specifications does not mean that all applicable building requirements of the City of Loveland, or any other governing authority, have been satisfied.

Each and every Owner or Applicant shall use their respective best efforts to commence construction of all improvements approved by the DRC and the City of Loveland, Colorado (and any and all other applicable governmental agencies), within sixty (60) days after obtaining all necessary governmental approvals therefore and thereafter diligently pursue through to completion. Resubmittal of the plans and specifications is required again for approval if construction has not commenced within one year after the initial DRC approval date.

The DRC may, from time to time, publish and promulgate additional or revised Guidelines, and such design guidelines shall be explanatory and illustrative of the general intent of the proposed development of the Properties and are intended as a guide to assist the DRC in reviewing plans and specifications.

- **9.4 Preliminary and Final Plan Submissions.** Each and all sets of preliminary and final plans must show, or contain thereon, the respective names, addresses and telephone numbers of the Owner, builder, and Architect. The DRC is authorized and empowered to and shall consider, review and comment on preliminary plans submitted electronically via email on an informal basis to assist the applicant in complying with the Covenants and these Guidelines and to assist in the completion of feasibility studies undertaken by such persons or entities. At a minimum, the preliminary plans shall include:
  - a. Site Plan (drawn to a scale of not less than 1" = 20'-0" with north arrow);
  - b. Floor Plan (drawn to a scale of not less than 1/8" = 1'-0");
  - c. Elevations, indicating finish materials and roof pitch (drawn to a scale of not less than 1/8" = 1'-0");
  - d. Exterior Light Fixtures location and cut sheets.
  - e. Grading Plan, if the site surface drainage is proposed to be different from the City approved Subdivision Grading Plan, indicating the (1) direction and manner in which water will be drained from the Lot (i.e., retaining walls, area drains, piping systems, site grading, etc.), (2) finished pad eleva-

tions, and (3) finished grades at all structures and property lines (drawn at a scale of not less than 1" = 20'-0");

- e. Typical Sample Landscape Plans (drawn at a scale of not less than 1" = 20'-0");
- g. location, height (top and bottom of wall elevations), and materials of existing and proposed retaining walls; and
- h. location, height and material of proposed fencing.

The DRC shall have the right to prescribe reasonable limitations concerning the time, effort, and expense likely to be involved in handling such matters on an informal basis. If the preliminary plans and specifications are approved by the DRC, the applicant will be so advised in writing. If found not to be in compliance with the Covenants or Guidelines, the applicant will be so advised in writing with a reasonable statement and explanation of items found in noncompliance. If the DRC does not approve, disapprove, or otherwise comment on such plans and specifications within thirty (30) days after the actual date of the received submission, approval of the matters submitted shall be presumed.

Final plans, specifications and surveys shall be submitted via email in digital .pdf form to the DRC for approval or disapproval within thirty (30) days after approval of the preliminary plans. At a minimum, the final submittal must include:

- a. Site Plan (drawn to a scale of not less than  $1^{"} = 20^{'}-0^{"}$ ) showing:
  - 1. dimensioned footprint of all proposed structures on the Lot;
  - 2. any site improvements such as screening walls, swimming pools and equipment, retaining walls, fencing, driveways, sidewalks, etc.;
  - 3. existing and finished grades at one (1) foot intervals if proposed to be different than the City approved Subdivision Grading Plan;
  - 4. north arrow; and
  - 5. Lot and Block.
- b. Roof Plan (drawn to a scale of not less than 1/8" = 1'-0") with north arrow;
- c. Floor Plans (drawn to a scale of not less than 1/8" = 1'-0") with north arrow and plan number;
- d. Elevations (drawn to a scale of not less than 1/8" = 1'-0");
- e. Exterior finish materials and color selections;
- f. Exterior light fixtures location and cutsheets.
- g. Typical Sample Landscape Plan indicating size, type, location and quantity of plants (drawn to a scale of not less than  $1^{"} = 20^{"}-0^{"}$ ); and

The DRC is authorized to request the submission of samples of proposed construction materials. At such time as the plans, specifications and surveys meet the approval of the DRC, one complete set of plans, specifications and surveys will be retained by the DRC and the other complete set will be marked "Approved" and made available for pick up by the Applicant at a designated location. If found not to be in compliance with the applicable requirements, one set of such plans, specifications and surveys shall be marked "Disapproved", accompanied by a reasonable statement of items found not to comply with the applicable requirements. Any modification or change to the approved set of plans, specifications and surveys must again be submitted to the DRC for its review and approval prior to construction. The DRC's approval or disapproval, as required herein, shall be in writing.

The DRC may from time to time publish and promulgate architectural standards and/or bulletins which shall be fair and reasonable and shall carry forward the spirit and intention of these Guidelines. Such publications shall be incorporated as part of the Guidelines as if written herein.

### 9.5 Waiver, Amendment and Third Party Benefit

The DRC maintains the right from time to time, at their sole discretion, to waive, amend or modify these Guidelines and Procedures. Neither the DRC nor its agents, representatives or employees shall be liable for failure to follow these Guidelines and Procedures as herein defined. These Guidelines and Procedures confer no third party benefit or rights upon any entity, Person or Applicant.

### 9.6 Non-Liability of the Committee

Neither the DRC nor its respective members, Secretary, successors, assigns, agents, representatives or employees shall be liable for damages or otherwise to anyone submitting plans to it for approval, or to any applicant by reason of mistake in judgement, negligence or nonfeasance arising out of any action of the DRC with respect to any submission, or to otherwise follow these Guidelines and Procedures. The role of the DRC is directed toward review and approval of site planning, appearances, architectural vocabulary and aesthetics. The DRC assumes no responsibility with regard to design or construction, including, without limitation, the civil, structural, mechanical or electrical design, methods of construction, or technical suitability of materials.

### 9.7 Accuracy of Information

Any person submitting plans to the DRC shall be responsible for verification and accuracy of all components of such submission, including, without limitation, all site dimensions, grades, elevations, utility locations and other pertinent features of the site or plans.



The Applicant represents by the act of entering into the review process with the DRC that all representatives of Applicant, including, but not limited to, Applicant's architect, engineer, contractors, subcontractors, and their agents and employees, shall be made aware by the Applicant of all applicable requirements of the DRC and shall abide by these Procedures, the Guidelines and the Covenants.

### 9.9 Conflicts with the Declaration of Covenants, Conditions and Restrictions

In the event of a conflict between these procedures and the terms of the Declaration of Covenants, Conditions and Restrictions, the latter shall prevail.

