

HOMEOWNER MODIFICATIONS & DESIGN GUIDELINES



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1.0 INTRODUCTION

1.1 Purpose of Guidelines

Kinston is a fresh, innovative community poised at the crossroads of Northern Colorado. At its heart it will provide homeowners with an authenticity of place; a modern expression of familiar architectural styles; and a sustainable, contextual approach to landscape at all scales. Achieving and maintaining a vibrant and progressive community character is the primary goal of these Homeowner Design Guidelines. A commitment to healthy and enduring qualities is important to the design of this community.

In order to preserve and enhance these principles, these Homeowner Modification and Design Guidelines ("Homeowner Design Guidelines") are established to communicate to each Owner the requirements and procedures for compliance and to maintain standards consistent with the greater Centerra vision and values by which the community may grow and develop.

The Homeowner Design Guidelines provide an overall framework to allow the community to develop and progress in an orderly, cohesive, and attractive manner, implementing planning concepts and philosophy which are required by the regulatory agencies including the City of Loveland, Colorado and are desirable to residents. The Homeowner Design Guidelines include minimum standards for the design, size, location, style, structure, materials, color, mode of architecture, and mode of landscaping and relevant criteria for the construction or addition of improvements of any nature. They also establish a process for judicious review of proposed new developments and changes within the community. However, the Homeowner Design Guidelines are not the exclusive basis for decisions of the DRB, and compliance with the Homeowner Design Guidelines does not guarantee approval of any application.

Capitalized terms used herein and not otherwise defined have the meaning set forth in the CCR's.

1.2 Definition of Modifications

A modification is defined as any alteration, change, remodel, restoration, addition or renovation to any building, structure, site, yard, site, fence, wall or exterior improvement of any kind or nature. After a new house has been completed, in accordance with the approved plans, and occupied, the Design Review Board (DRB) becomes responsible for the review of all modifications to the exterior of the structure and site.

1.3 Who is Subject to the Approval Process

All property Owners are responsible for obtaining the necessary review and approvals to comply with the terms of the Homeowner Design Guidelines and Declaration of Covenants, Conditions and Restrictions (CC&Rs) for Kinston. The builder is responsible for new construction and homeowners are responsible for any modifications. Each application is reviewed on an individual basis.

Each Owner who desires to make additions or modifications to their site and/or home is responsible to ensure that these Homeowner Design Guidelines are adhered to and, that the approval of the DRB is received prior to making such additions or modifications. Plans for any improvement must be in conformance with these Homeowner Design Guidelines or as permitted under Article 8.2.e Variances of the CC&Rs for Kinston. Owners are responsible for all cleanup of any improvement project. All debris, sod, soil, etc. shall be removed from the site and hauled to the proper waste sites. If the project causes damage to any neighboring site, public or private, the Owner is responsible for any necessary repairs, including the costs associated with enforcement of this responsibility, if any.

1.4 The "DRB" Defined

The Design Review Board (DRB) shall mean and refer to that particular board which is described and explained within Article 8.1 Design Review Board of the CC&Rs for Kinston.

1.5 Management Role Defined

Per Article 8.1.c of the Master Declaration, the DRB may utilize the Kinston Community Association (Association) management personnel for the administrative processing of design review requests. Administrative review may include receipt of applications, counseling Owners regarding the Homeowner Design Guidelines and their submissions, conducting an initial review of applications to assure they are complete, presenting applications to the DRB, and notifying Owners of DRB's decisions. Management personnel may review applications in accordance with the Homeowner Design Guidelines . Any variations from the Homeowner Design Guidelines must be submitted to the DRB for review and approval.



1.6 Design Review Process

The following is a brief outline of steps needed to complete and submit a request for modification:

- Log on to the resident portal on our website at www.kinstonresidents.com.
- Navigate to the "Design Revew Application": https://www.kinstonresidents.com/designrevew/.
- Review the form and check the appropriate section of the Homeowner Design Guidelines. If you need more information or have questions, email the association at kinstoncommunity@ coherelife.com.
- Complete the form and attach all supporting documentation/information as indicated in the "Submittal Requirements" paragraph in the Homeowner Design Guidelines for your specific improvement.
- For any home bordering a common area, applications concerning landscaping or other exterior improvement, a \$2,000 refundable deposit is due prior the approval of the application. Note, the application will not be approved until the deposit is received. Once the improvement project is completed and has been inspected by the association, the deposit will be released back to the homeowner less any damages done to the common area.
- Once the form is complete and all documentation has been uploaded, click submit.
- You may also submit a paper application to the association office currently located within the Hub at 6402 Union Creek Drive, Loveland, CO 80538 or email your request to kinstoncommunity@coherelife.com.
- Association management will review your request to determine if all information has been included. Incomplete requests will be returned to the Owner without review.
- The DRB aims to meet on a biweekly basis. If no response is provided by the DRB within forty-five (45) days of submittal, the request will be deemed denied.
- Once the DRB approves your request, a copy of your request along with a letter indicating the DRB's decision will be emailed to you and construction may begin immediately.

- If your request is denied, specific reasons for the denial will be provided. You may then revise your request and resubmit.
- If the Owner disagrees with the decision of the DRB, the Owner may request an appeal in writing to the Association Board within thirty (30) days after such decision. In the appeal, the Owner can request to be present for the appeal and may submit supplemental information to provide clarification. The Board's decision after appeal shall be final.
- Homeowners are encouraged to share this policy with their contractors and add provisions to their contracts that require compliance by the contractor and compensation to the homeowner if the contractor causes damage that causes the homeowner to forfeit the deposit.

1.7 City of Loveland Building Permits

Owners are advised that the City of Loveland requires certain permits, depending on the proposed change, alteration or addition. It is the Owner's responsibility to comply with permit requirements. Owners should contact the City of Loveland Building Department for further information. Prior to submittal of a request for a permit to be issued by the City of Loveland, the Owner will obtain the approval of the DRB of any improvements requiring approval. Any permit or approval issued by the City of Loveland shall in no manner whatsoever bind the DRB with respect to approval or denial of any application for items submitted for consideration; the DRB shall be fully independent and will have full authority for approval or denial of any such matters.

1.8 Use Restrictions

As part of the Homeowner Design Guidelines, this document contains Use Restrictions in Section 3. These Rules apply to Owners at all times, not just when submitting items for design approval. It is therefore important that all Owners refer to this document often.

1.9 Enforcement

The Homeowner Design Guidelines will be enforced as described and explained within the CC&Rs.



2.0 DESIGN GUIDELINES

The following list includes restrictions as well as a wide variety of specific types of improvements typically considered by homeowners with pertinent information as to each. The list is organized alphabetically by topic for ease of use.

Unless otherwise specifically stated, drawings or plans for a proposed improvement must be submitted to the DRB for review and written approval before the improvement is made. (See Section 1.3)

In some cases, where it is specifically so noted, a homeowner may proceed with the improvement without advance approval by the DRB if the homeowner follows the stated guidelines, In other cases, where specifically stated, a type of improvement is prohibited. **Any other improvement not specifically listed herein requires DRB review and written approval.**

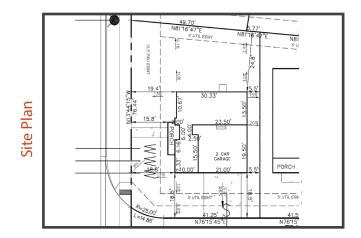
2.1 Additions/Remodels

Any and all additions, alterations, and renovations to the exterior of an existing house shall be compatible with the design of the original house in style, detailing, materials, and color. When any additional, alterations, or renovations are performed to the exterior of an existing house, the established Site drainage shall not be altered.

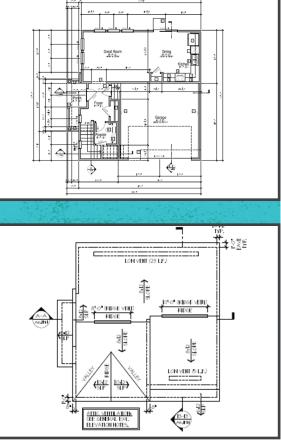
Submittal Requirements:

A set of floor plans, elevations, roof plans, and site plans drawn to scale.

All colors and materials (roofing, siding, masonry, etc.) should match or complement the existing home. Submit color samples, manufacturer, color name and number, etc., for review.









2.2 Attic Ventilation/Rooftop Appendages

Attic ventilators are preferred to be the "pancake" low profile type. Attic ventilators shall not extend above the roof ridge. Roof ridge vents are acceptable. Rooftop appendages, vents, stacks, ventilations, sky lights, etc., whenever possible should be located on the rear slopes of the roof. Rooftop appendages are to be painted to match or blend with the color of the roof.

Roof mounted HVAC equipment and evaporative cools are not permitted.

Skylights and solar tubes will be considered on a case by case basis.

Submittal Requirements:

Except for skylights and solar tubes, none required provided you comply with the above guidelines. Owner must provide dimensions and catalog specifications/photos of requested skylights and/or solar tubes.

2.3 Awnings

Awnings or similar shading devices are permitted on the side and rear of the home and shall be an integral part of the house or patio design. Awnings and shade devices must be consistent in color and materials, they must be canvas or other woven material that complements the home and the neighborhood. No rigid metal or plastic awnings are permitted. No advertising or logos are allowed on awnings. Colors must be solid and neutral in tone.

Submittal Requirements:

Owner must provide size of awning and a swatch of material and color to be used along with site plan showing location of awning.



2.4 Basketball Goals

Backboards shall be pole mounted and shall preferably be transparent acrylic. White, black, or grey backboards are acceptable. Poles shall be metal or fiberglass painted black.

Placement of basketball goal and pole shall be located to minimize visual and use impact to neighboring properties.

Basketball goals are not allowed to be mounted on a house, garage, shed, etc.

Portable goals are recommended. Portable goals cannot be placed in the public right-of-way, streets or sidewalks, per City of Loveland ordinance.

Only one goal per site is allowed.

Submittal Requirements:

None required provided you comply with the above guidelines.

2.5 Birdhouses

Birdhouses and Birdfeeders. Each bird house is limited to 1' x 2' x 18". If the birdhouse or bird feeder is to be pole-mounted, the maximum height shall be eight (8) feet from grade to top of feeder.

Birdbaths. Maximum of one (1) birdbath if it is less than three (3) feet tall, including pedestal.

Submittal Requirements:

None required provided you comply with the above guidelines. Additional units or location in front or side yard requires DRB approval. See Figure 2.18A for example of yard zones.

2.6 Color Changes

If a homeowner wishes to repaint his/her home with the same existing color, no submission is required. Any color/stain change must be submitted. Streetscapes are intended to have variety and interest with a carefully selected palette of colors. Proposed schemes must have noticable variations from the color



schemes used on homes directly adjacent to it. The same color scheme may not be used side by side. Rich, deep earthtone colors are required. Primary and pastel colors are strongly discouraged. Houses shall have a minimum of 3 different colors for siding, trim and accent/door.

Submittal Requirements:

The manufacturer's paint chips or samples indicating a manufacturer's color number (or name) and the respective location the homeowner would like to paint the color (i.e., Kwal / base – Knapweed CL2893M, trim – Star Thistle CL2891W, and accent – Vine Bloom CL2896N). Physical paint and material samples must be provided for review; Electronic versions are not acceptable. Paint must be flat or low luster, (i.e., satin). Painting brick or stone is not permitted.

Photo of existing house and neighboring houses showing the current paint/stain, stone or stucco color.

Site Plan

2.7 Decks/Patios

Decks shall be of redwood, cedar, "Trex" or comparable product or other material approved by the DRB. Pressure treated pine is permitted for the structure only or for areas not exposed to public view (e.g., first floor decks on interior sites).

Patios may be concrete, concrete stepping blocks, brick, concrete pavers, stone, or other materials as approved by the DRB.

Decks, patios, covered patios, columns and posts supporting porch roofs, covered patios, shade structures, second level decks etc. shall be designed to architecturally integrate with the style of the house. Front porches shall have concrete floors integrated with the foundation of the house.

Rear porches and decks elevated 4'-0" or more above grade shall have columns/support posts that are a minimum of 12" x 12" size unless specifically approved by the DRB. No elevated porch or deck shall exceed 10'-0" above grade excluding cantilevered balconies.

The new deck/patio shall not alter the drainage patterns established by the Master Drainage Plan.

Refer to Section 2.9 Encroachments Permitted Into The Minimum Setbacks for additional requirements.

Submittal Requirements:

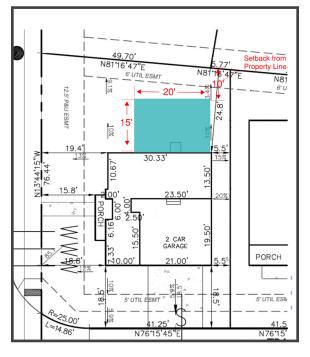
A site plan drawn to scale, showing the house, the location of the deck and or patio, easements, and the property line. Building plans, including railing, bench, screening and other details or photos of the proposed design elements. Color and/or stain samples and manufacturer specifications.

2.8 Dormers

Dormers, when used, should be functional or appear as such, and be accessible from the interior of the home. For dormers with windows larger than 2'-0" by 2'-0", the interior walls and ceiling shall be finished (taped, bedded, textured and painted) to appear as a room from the exterior. Alternative methods to "blacked-out" windows may be approved by the DRB on a case by case basis. For dormers with Low E type windows 2'-0" by 2'-0" in size or smaller, the interior walls, ceiling, trusses, etc. may be painted black. When possible it is encouraged that the dormers provide natural light into the home's interior. Dormer windows which are painted black (or other dark color) or have a tinted film applied are prohibited.

Submittal Requirements:

A set of floor plans, elevations, roof plans, and site plans drawn to scale. All colors and materials (roofing, siding, masonry, etc.) should match or complement the existing home. Submit color samples, manufacturer, color name and number, etc., for review





2.9 Encroachments Permitted Into The Minimum Setbacks

Per the <u>Millennium General Development Plan (GDP)</u> Section 9.7, the following features shall be allowed within the minimum required Setbacks (subject to the requirements of Millennium GDP Section 7.13 Sight Triangles which is included below for reference). Minimum required setbacks can be found in Table 9.2 of the Millennium General Development Plan, included in this section as Figure 2.9A.

- A. Landscaping and irrigation including trees and shrubs and other features of natural growth subject to planting offsets from utility lines as required by the City.
- B. Fences or walls subject to height and other restrictions stated in this GDP and, if applicable, the City code.
- C. Driveways and sidewalks.
- D Utilities
 - 1. Underground Utilities including service lines
 - 2. Above ground Utilities including meters, ground mounted air conditioning units, satellite dishes and similar appurtenances as long as they are located so as to minimize visual intrusion and front yard lamp post fixtures.
- E. Architectural features that do not extend more than two feet into a minimum required setback, including but not limited to cornices, canopies, awnings, eaves, gutters and downspouts. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- F. Architectural design embellishments that do not extend more than two feet into a minimum required setback, including but not limited to bay windows, balconies and similar sized cantilever floor areas. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- G. Chimneys, flues and residential ventilating ducts that do not extend more than two feet into a minimum required setback. The total linear distance of these projections shall not exceed 50% of the length of the applicable side of the building.
- H. Open outside stairways, necessary landings together with railings that do not extend more than five feet into a required front or rear setback and/or not more than two feet into a minimum required side setback.
- I. Covered porches, covered or uncovered decks, terraces and patios attached to a dwelling that do not extend more than five feet into a minimum required rear setback.
- J. Window wells that do not extend more than three feet into a minimum required setback and/or private side yard drainage easement. In side yard locations the encroachment is allowed as long as there is sufficient space to accommodate the drainage flows be-tween the abutting sites.

Sight Triangles

Sites shall be designed so that plants and structures on the site do not interfere with the safe movement of motor vehicle traffic, bicycles or pedestrians.

No plants, foliage, wall, fence or berm higher than twenty four (24) inches above the top of the curb shall be located within the sight distance triangle on any corner of the site adjoining an intersection. Sight distance triangles shall comply with the minimum sight distance requirements defined by the Larimer County Urban Area Street Standards.



Figure 2.9A Residential Minimum Setbacks

		Tab	le 9-2 – Res	idential Mir	imum Setbac	ks			
	MINIMUM SEPARATION FROM								
Land Use	Side Prop- erty Line*	I-25 & US 34 ROW	Arterial Street ROW	Collector Street ROW	Local Street ROW & Private Road (back of curb) ±	Alley ROW	Primary Structure <u>to</u> <u>Accessory</u> Structure	Common Open Space	
Urban Character Village Struc- tures*	0,	80'	40'	0,	0,	0,	0,	0,	
Multi-Family Dwellings	15'	80'	40'	14'	14'	14'	6' measured between eaves	0,	
Ancillary Dwell- ing Units			Same as prin	nary structure o	r as separately d	lesignated belo	ow		
Single Family Attached Dwell- ings	Side-0', Corner Side- 14', Rear-4',	80'	40'	Front -14' Garage door -20' from back of walk	Front-14' Garage door -18'+	Structure - 6' Garage- < 3' or > 18'	6' measured between eaves	0,	
Patio Homes, Zero Lot Line Homes	**Side- 0', Corner Side - 14', Rear-8',	80'	40'	Front -14' Garage door -20' from back of walk	Front-14' Garage door -18' +	Structure - 6' Garage- < 3' or > 18'	6' measured between eaves	0,	
Single Family Detached Dwell- ings	Side-5', Corner Side- 14', Rear-10',	80'	40'	Front -14' Garage door -20' from back of walk	Front -14' Garage door -18' +	Structure - 6' Garage- < 3' or > 18'	6' measured between eaves	0,	
Other Housing Types	Side-5', Corner Side – 14', Rear – 10'	80'	40'	Front – 14' Garage door – 20' from back of walk	Front – 14' Garage door – 18' +	Structure - 6' Garage- < 3' or > 18'	6' measured between eaves	0,	

*The minimal Setbacks along street frontages in Urban Character Villages are contingent upon:

- Provision of utility easements of at least 14 feet along rear Alleys.
- The architectural and other design standards outlined below.

**If a zero foot side yard Setback is proposed, adequate utility, maintenance and access easements shall be provided on the Lot adjacent to the zero foot (0') setback.

Separation between principal Buildings and Accessory Structures shall be 6 feet minimum between eaves, except where 0 feet is noted above.

Urban Character Village setbacks shall apply to any housing types (Multi-Family Dwellings, Townhomes, etc.) and other uses included within the Urban Character Village as defined on the applicable Preliminary Plat.

0 feet side and rear yard Setbacks apply to Single Family Attached Dwellings, Single Family Detached Dwellings and Patio Home/Zero Lot Line Homes; and are to be considered in conjunction required separation from "Other Buildings" as noted in this table. Assured distances between Buildings shall result in an "assumed" property line meeting Building Code requirements for Building separation, and allow non-rated construction accordingly.

+ Setbacks to garage doors facing public streets (except Alleys) shall be 20 feet minimum from back of walk.



2.10 Fencing

Fences are optional on any Site. Three fence styles are allowed in Kinston - privacy fencing, open rail fencing and front yard fencing.

The developer will install a master developer fence which refers to a privacy, open rail and railroad barrier fence that is installed by the developer per the master plan. Reference Figure 2.10A for the Master Developer Fence Plan.

2.10.1 General Fencing Criteria

Perimeter fencing must be installed on the property line unless otherwise approved by the DRB. Specific fence placement is subject to various restrictions relative to location.

The following basic rules shall be adhered to:

- a. Fencing (in its entirety) is solely restricted to the Owner's property. Fences shall not encroach into any public street rights-of-way (ROW) or designated open spaces.
- b. Fencing shall comply with the setback requirements as detailed in Figure 2.10.B.
- c. All fencing shall be constructed of #1 grade western red cedar and stained Sherwin Williams SW 3023 Flagstone Solid, or equal as approved by the DRB.
- d. Fencing on a side yard on corner sites with secondary street frontage shall be set-back a minimum of 2'-0" from the adjacent attached sidewalk along the street. The 2'-0" setback between the fence and the sidewalk shall be irrigated and landscaped with shrubs, ornamental grasses or other landscaping that is a minimum height of 2'-0" at growth maturity.
- e. If mesh is desired by the owner to be installed with fencing, it must be wire mesh (no chicken wire) with dimensions of 2"x2" or 2"x4". The mesh must be installed on the interior side of the horizontal fence rails. See Figures 2.10L, 2.10M, and 2.10N for examples of how to install the mesh.

Additional 1/2" galvanized, square patterned mesh may be installed on the bottom rail of the fence (no higher than) to prevent small animals from digging underneath the fence. It is recommended the mesh be installed 3-6" into the ground. See Figure 2.10O for a photo example.

- f. Double fencing is prohibited.
- g. Fencing installed along property lines where retaining walls exist shall be located on the high side of the wall.
- h. If an easement occurs within a site, it is to be maintained by the property Owner. Fence construction within any easement is at the risk of the homeowner. Fences shall not obstruct site drainage easements.
- i. Finish grade along solid fences shall be at least three (3) inches below the bottom of such fences for drainage where lot line drainage swales exist or as required by engineering calculations.
- j. Gates should be either a continuation of the adjacent fence design or designed in such a way as to compliment the adjacent fence in material, scale and proportions. All gate design shall be submitted to the DRB for approval prior to beginning construction.
- k. All hardware shall be black, heavy duty metal hinges, latch and handle that maintain functional and visual intergrity over time.

See Figures 2.10C, 2.10D, 2.10E for fencing requirements per fencing type.

See Figures 2.10F, 2.10G, 2.10H, 2.10I for fencing examples by product type. Product types are defined below:

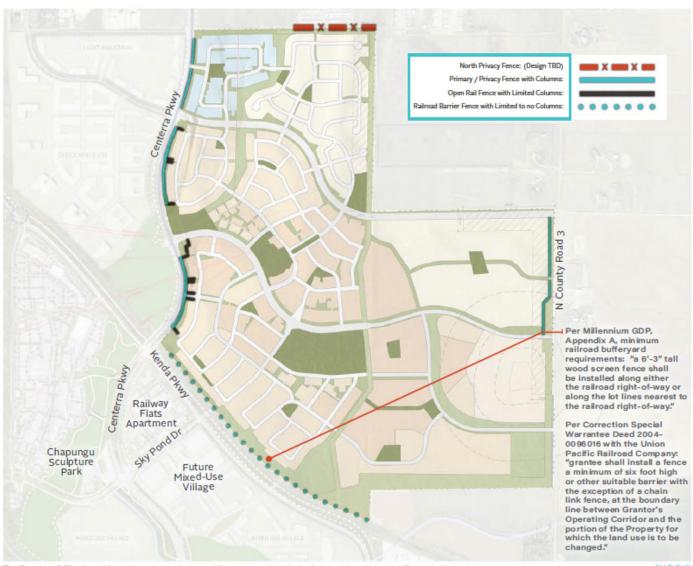
- a. Front Loaded Product Homes where the garage is located on the front elevation (same elevation as front door).
- b. Rear Loaded Product Homes where the garage is located on the rear elevation.
- c. Attached Product Homes where two or more dwellings units share a common wall.
- d. Cluster Product Homes where four or more homes share a common alleyway or private drive.

See Figures 2.10J and 2.10K for requirements on how different fencing styles should transition.

See Figures 2.10P for requirements on how fencing should be installed in sloped conditions.



Figure 2.10A - Master Developer Fence Plan



The Framework Plan is anticipated to adapt and grow as Kinston grows but the basic organizing elements will remain the same.

Not To Scale

Figure 2.10B - Fence Setback Requirements

PRODUCT TYPE	STEP-BACK FROM FRONT OF HOME	STEP-BACK FROM REAR OF HOME*	SETBACK FROM PUBLIC SIDEWALKS	SETBACK FROM INTERIOR SIDE LOT LINE	SETBACK FROM REAR LOT LINE	SETBACK FROM REAR ALLEY OR PRIVATE DRIVE*
Front-Loaded Product (SFD or SFA)	Product	2' Min. From Rear Building Plane	2' or more***, planted and maintained by homeowner, OR Less than 1' with no plantings permitted between fence and walk	0'	0'	N/A
Product					N/A	5' From Edge of Pavement

*Fences shall follow either the Step-Back from Rear of Home or the Setback from Rear Alley or Private Drive, whichever is greater.

**If the front porch wraps, the fence shall be behind the furthest extend of the porch.

***So long as a minimum 6' deep front yard remains.



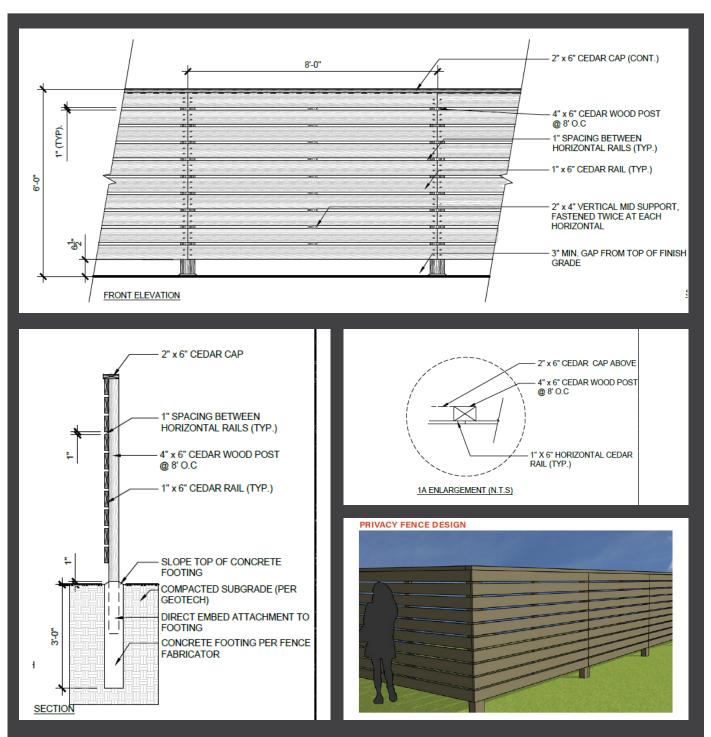
2.10.2 Privacy Fencing Criteria

Privacy fences are allowed for side yards between homes or rear yards facing another site. Privacy fences must comply with the general fencing criteria and the criteria found in Figure 2.10C.

Submittal Requirements:

Scaled site plan showing existing structures, proposed fence/wall location, details of fence and gate design, type of materials, finish, color, and height.

Figure 2.10C





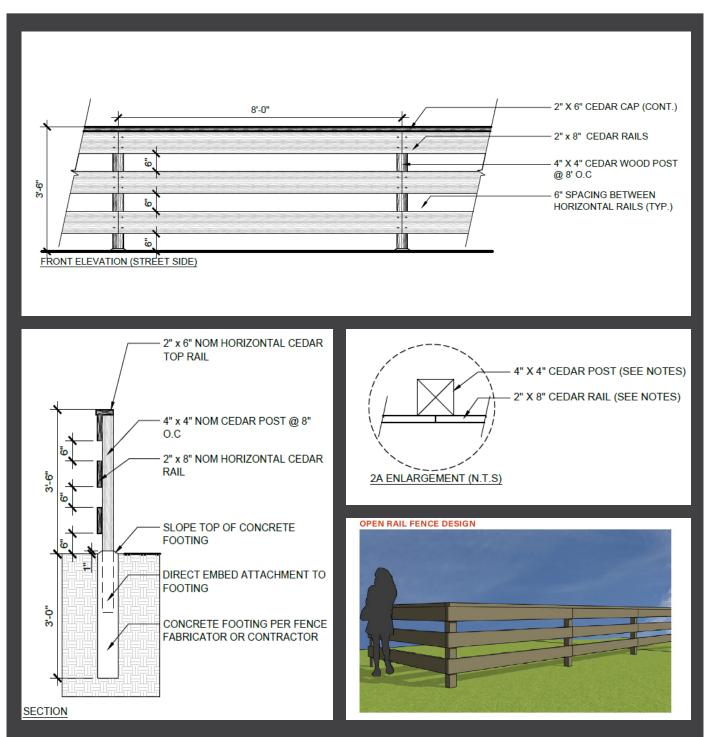
2.10.3 Open Rail Fencing Criteria

Open rail fencing is required to be installed on sides adjacent to open space or a public street. Open rail fencing must comply with the general fencing criteria and the criteria found in Figure 2.10D.

Submittal Requirements:

Scaled site plan showing existing structures, proposed fence/wall location, details of fence and gate design, type of materials, finish, color, and height.

Figure 2.10D





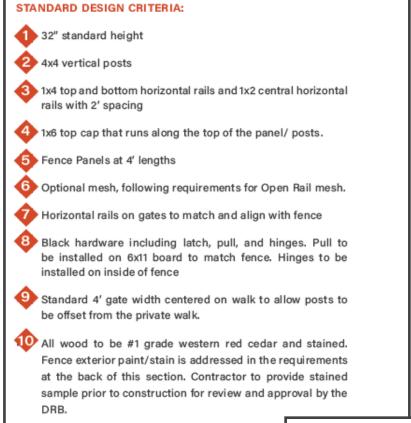
2.10.4 Front Yard Fencing Criteria

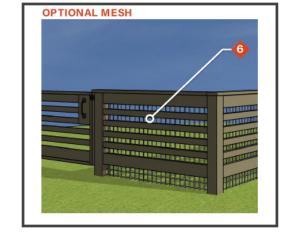
Front yard fencing is allowed for front yards, except for front loaded product. Front yard fencing must comply with the general fencing criteria and the criteria found in Figure 2.10E.

Submittal Requirements:

Scaled site plan showing existing structures, proposed fence/wall location, details of fence and gate design, type of materials, finish, color, and height.

Figure 2.10E





Constructed with Stainless Steel Fasteners



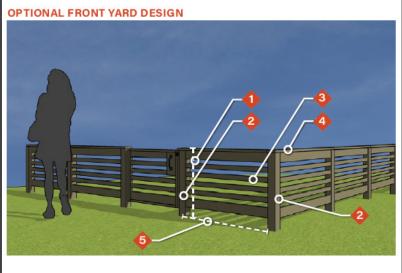




Figure 2.10F: Front-Loaded Product Fence and Gate Locations

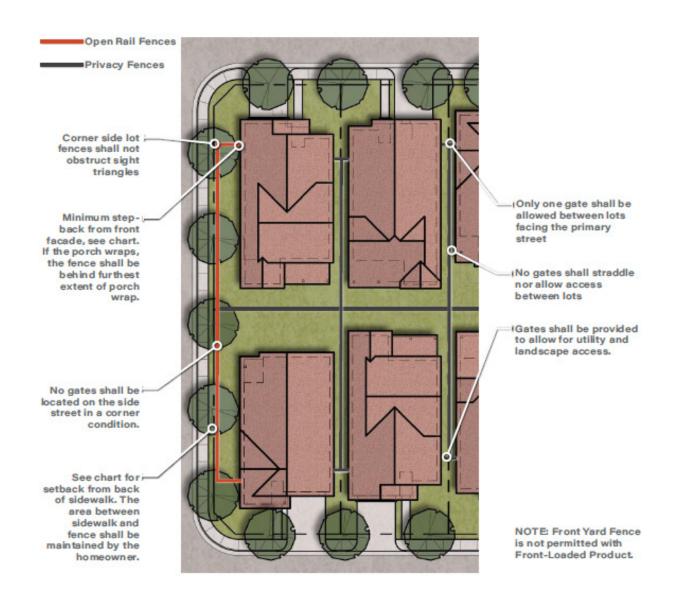




Figure 2.10G: Rear-Loaded Product Fence and Gate Locations

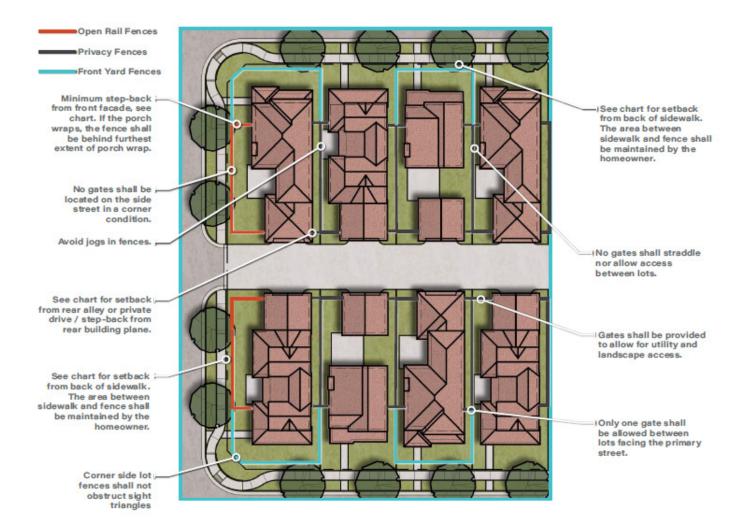




Figure 2.10H: Attached Product Fence and Gate Locations

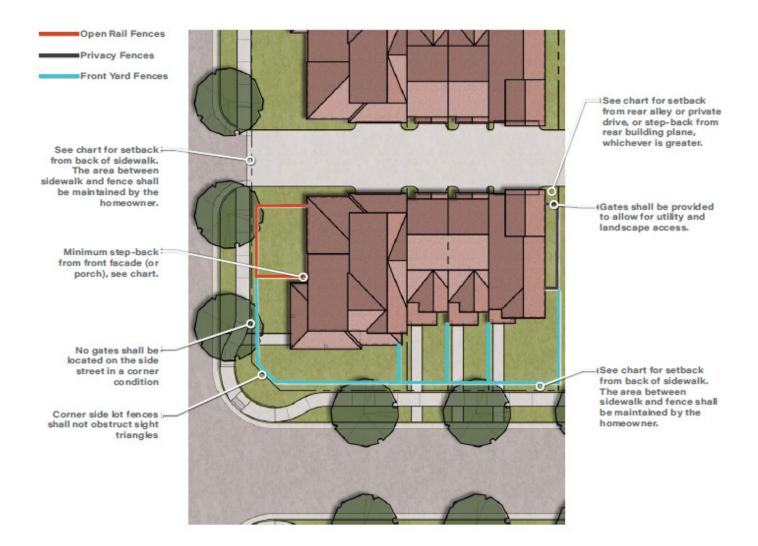
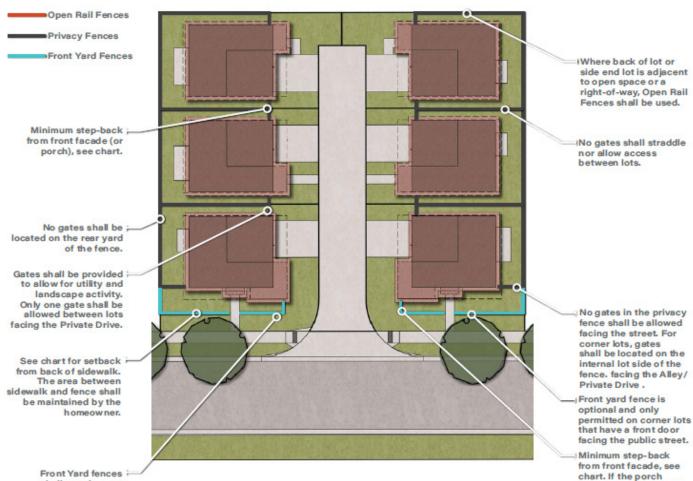




Figure 2.10I: Cluster Product Fence and Gate Locations Example



shall not obstruct sight triangles.

★

wraps, the fence shall

be behind furthest extent of porch wrap.

Figure 2.10J: Fence Transitions

FRONT YARD FENCE TRANSITIONS

Kinston has a variety of fence types that will often intersect one another. These illustrations demonstrate the different conditions the Front Yard Fence will terminate and the best approach for each transition.

STANDARD DESIGN CRITERIA:

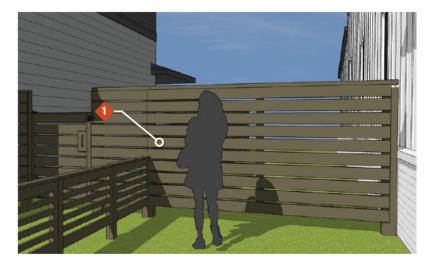
Front Yard Fence terminates at Privacy Fence centered on the Privacy Fence post. Front Yard Fence should not terminate on the face of a fence panel.

When creating fenced-in front yard for the Corner Lot Cluster Product, Front Yard Fence shall tie in perpendicular to Privacy Fence at a post. No gates shall be permitted in Privacy Fence between front yard and rear yard when fence is facing the primary street.

See fence setback requirements table in this section.

ADDITIONAL NOTES:

- All transitions may incorporate a masonry column for an enhanced transition instead of terminating at a wood post.
- If owner chooses to fence in front yard for Cluster Product, Owner must tie fence back into Privacy Fence and may not leave it open to adjacent lot front yard..



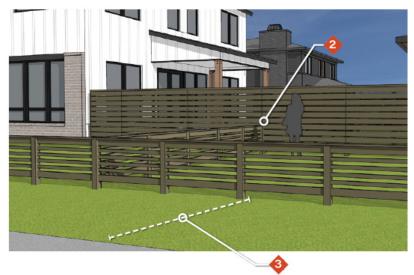
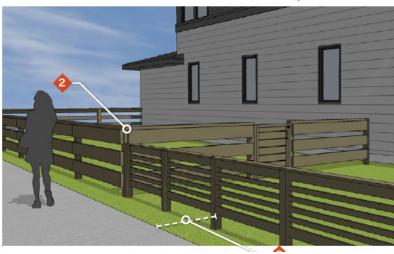




Figure 2.10K: Fence Transitions Continued





OPEN RAIL FENCE TRANSITIONS

Kinston will typically have a Privacy Fence terminate at an Open Rail Fence along open space and roadways. These illustrations demonstrate the different alternatives to transition from the Privacy Fence to the Open Rail Fence in a thoughtful and clean transition.

STANDARD DESIGN CRITERIA:

- Step the end panel of the Privacy Fence to smoothly transition to the lower Open Rail Fence. Both Fence types tie into a single 4x4 column.
- Front Yard Fence terminates at Open Rail Fence centered on the Open Rail Fence post. Front Yard Fence should not terminate on the face of a fence panel.

3 See fence setback requirements table in this section.

ADDITIONAL NOTES:

All transitions may incorporate a masonry column for an enhanced transition instead of terminating at a wood post.



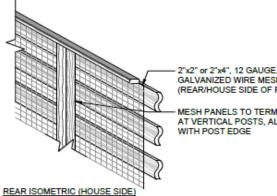
Figure 2.10L: Optional Fence Mesh Installation Details

OPTIONAL MESH INSTALLATION

Wire mesh may be added to Open Rail Fence with approval by the DRB, following the details shown here.

STANDARD DESIGN CRITERIA:

- Homeowner to provide mock-up in field of (1) 6'-0" length sections for review and approval by DRB.
- All fasteners and hardware to be exterior grade suitable for specified application.
- Finish grade along solid fences shall be at least three (3) inches below the bottom of such fences for drainage where lot line drainage swales exist or as required by engineering calculations.
- Details shown within these drawings shall be followed for exterior appearance (finishes, dimensions, and materials). The contractor may change interior construction shown on these details to conform with their own shop practices or local B.M.P.
- Mesh shall be placed on the inside of rails house side and shall not extend above the top rail. "Chicken wire" is prohibited. Attach with galvanized 'U' nails.



GALVANIZED WIRE MESH (REAR/HOUSE SIDE OF FENCE)

MESH PANELS TO TERMINATE AT VERTICAL POSTS, ALIGN

OPEN RAIL FENCE WITH MESH



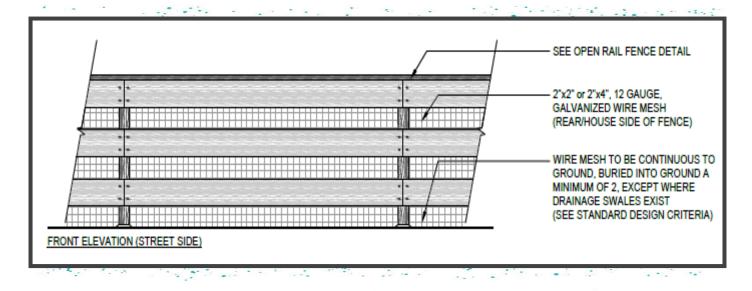




Figure 2.10M: Optional Fence Mesh Installation Details (continued)

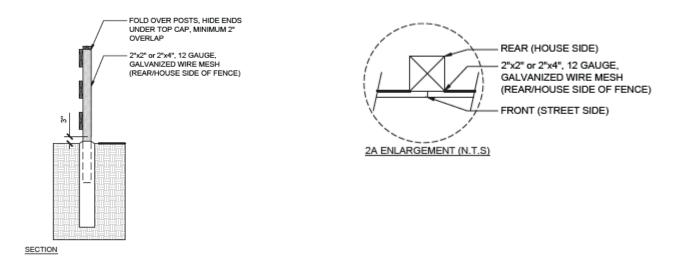


Figure 2.10N: Fence Mesh Installation Photo Examples*





The view is looking from outside of fenced yard. Mesh is installed on interior side of horizontal rails.

(The fench mesh should terminate at the post or be sandwhiched between the post and the rail. $\ensuremath{\mathsf{)}}$

*The intended purpose of these photos are to represent how the mesh must be installed. The style and color of the fence must comply with Figures 2.10C-E.



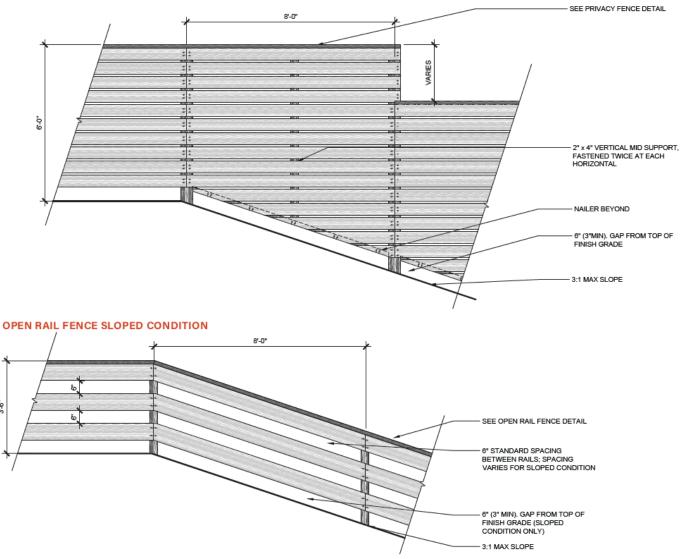
Kinston Homeowner Modifications & Design Guidelines



Figure 2.100: Optional Fence Mesh (for smaller animals/critters)

Figure 2.10P: Fence in Sloped Conditions

PRIVACY FENCE SLOPED CONDITION





3.6"

2.11 Fireplaces and Barbecue Pits (Outdoors)

Permanent outdoor fireplaces, barbecue pits and firepits shall be finished with masonry, brick and/or stone and shall blend with the masonry material used on the house. Temporary firepits are considered patio furnishings and do not require DRB approval.

Fireplaces and pits shall be located in the side yard, rear yard or in front yard functional outdoor courtyard living areas. Fireplaces and pits shall be located within the building envelope established for the house. They may not encroach any easement, setback or alter the surface drainage on the site per the Subdivision Grading Plan.

These structures should be in scale with and integrated into the design of the house structure, deck and/ or landscape areas and shall be sited in consideration of neighboring properties.

The maximum height for fireplaces, excluding chimneys, shall not exceed eight feet (8'-o"). Height of the chimney shall be as required for operation and code compliance.

Submittal Requirements:

Site plan with locations of fireplace or barbecue pit identified, samples of materials proposed to be used. Architectural drawings with dimensions of proposed items.

2.12 Flagpoles

In accordance with 38-33.3-106.5 of the Colorado Common Interest Ownership Act (CCIOA), the Association may adopt reasonable, content-neutral rules to regulate the number, location and size of flags and flagpoles.

Owners are allowed to have one single pole with one single flag on a flag mount on any one residential site, attached to the front face of the home not exceeding 4 feet above any eave.

No flag may exceed 3'x 5', and no flag may be displayed that contains graphics, language, or any display that is obscene or otherwise illegal.

Owners must apply for approval for a free standing flag pole; the pole must:

- 1. Not exceed 12' in overall height
- 2. Must be located within the rear yard only unless specifically approved by the DRB
- 3. No flag may exceed 3' x 5'. Flags will not be allowed to be draped on decks. Those residents choosing to display the United States Flag must adhere to the United States Flag Code, Title 4, Chapter 1."

Accent, spot and/or up lighting of any flag is strictly prohibited. Flags must be downlit utilizing The Beacon System or equal. See Figure 2.12A.

Submittal Requirements:

Flags that are attached to home - No requirements if the above criteria are met.

Freestanding Flag Pole - Submit plan with proposed location of freestanding pole, cutsheet for pole.

2.13 Fountains/Statuary

Fountains shall be limited to four feet in height and shall be of natural material, color and design which compliments the overall architecture of the house. Fountains must not allow stagnant pools of water.

Decorative components such as statues and artifacts shall be limited in height to four feet.

Seasonal statues, artifacts, and other decorative landscaping items will be allowed between Thanksgiving through the first week of January and ten (10) days before and after other nationally recognized holidays.

Plastic statuary, plastic yard ornamentation and plastic planters will not be allowed.

Submittal Requirements:

Owner must provide a site plan showing where the fountain or statuary is to be installed and a photo along with dimensions.



Figure 2.12A

2.14 Gazebos

The gazebo must be an integral part of the rear yard landscape plan. The gazebo design and color must compliment the architectural style of the house.

Maximum square footage is 150'. Gazebo must not encroach into the minimum required setbacks. Maximum height shall be 10' at the highest point, unless otherwise approved by the DRB.

Any lighting must be approved and cannot shine into a neighboring site.

The gazebo shall be constructed of a material that is the same or complementary to the existing home. In cases where redwood, cedar or pressure treated lumber is used, the material may be painted to match the home or sealed to prevent weathering.

Only one gazebo is permitted per site.

Roof materials must match existing home.

Screen material must match existing home and not be reflective.

Submittal Requirements:

Owner must provide a site plan showing where the gazebo will be installed on the Site; materials, color, dimensions and photo of design.

2.15 Gutters/Downspouts

Gutters, downspouts and extensions shall match the color of the house siding material or trim it is adjacent to.

Downspouts and extensions must not direct water onto adjacent properties. Water from the site must "sheet flow" before it enters into the drainage easements and the sidewalks along the streets. No piped drains are allowed to have an outlet which directs water to adjoining sites or open space. Pipes must be buried and not laying on top of the ground.

Submittal Requirements:

None required provided you comply with the above guidelines.

2.16 Hot Tubs/Spas

Hot tubs or spas must be an integral part of the deck or patio area of the rear yard landscaping. The hot tub or spa must be screened so it is not visible from adjacent sites and so that it does not create an unreasonable level of noise for neighboring properties. Additional plant material or privacy fence around the hot tub or spa may be used for screening; Lattice is not an approved screening solution.

Hot tubs and spas shall not protrude more than 24" above grade, unless otherwise approved by the DRB.

Concentrated drainage (i.e., pipes) to the common areas, or neighboring properties is not allowed.

Spas and hot tubs are limited to side and rear yards and may not encroach in any setback. Only one spa or hot tub is allowed per site.

Structures such as a gazebo, cover, trellis or decking arc subject to a separate review and approval.

All hot tub/spa equipment must be fully screened on all sides with an architectural screening wall to match the materials and colors of the house.





Submittal Requirements:

A catalogue clipping, photograph, description, color, material, and dimensions of the improvements. A site plan showing the location of the equipment, existing structures, and site.

2.17 House Address Numbers

Each house shall have address numbers or letters mounted near the front door or front facing garage door and placed in a prominent location easily visible from the public street.

Black is the preferred color; other options may be permitted with DRB approval if black conflicts with house color.

Numbers shall be Palatino Linotype typeface unless otherwise approved by the DRB.

The recommended placement for address letters or number above garages is centered horizontally above the door and centered vertically between top of garage door and eave. Alternative locations are permitted with DRB approval.

The recommended placement for address letters or numbers near front doors is a minimum of 1inch from front door jamb trim and installed a minimum of 3'-6" above the ground or porchsurface. Alternative locations are permitted with DRB approval.

Submittal Requirements:

No requirements if the criteria above is followed.

2.18 Landscape and Irrigation

Kinston is committed to sustainability. This means redefining beauty to embrace the natural aesthetic of the Colorado Front Range. Landscape materials should be locally sourced and planting plans will utilize a water-wise palette of native and adapted plants. These strategies will significantly decrease water use, improve biodiversity, increase plant longevity, and decrease maintenance.

2.18.1 Timeframe for Installation

The Site must be fully landscaped within one hundred eighty (180) days after closing if closing occurs between April 1 and October 1; if closing does not occur between such dates, then such landscaping shall be installed by the Owner by the following October 1.

The Design Review Board (DRB) may allow reasonable extensions of such period to account for abnormal weather conditions or other constraints on landscape installation.

2.18.2 Zones

Plants of like watering needs should be grouped together in zones to allow for the most efficient watering.

2.18.3 Landscape Palette

Plant selections shall support visual interest year-round. All introduced vegetation within Kinston shall be trees, shrubs, vines, ground covers, seasonal flowers or lawn grasses which are commonly and successfully used in Northern Colorado for landscaping purposes. Native prairie plants are the most adapted and most visually appropriate for the region and therefore shall be the preferred selection for plant palettes. All plant material shall a be native or adaptive species, priority given to native species selection first. At least three plant selections shall be a pollinator species per the approved plant list.

Xeriscape design is strongly encouraged.

Included at the end of this landscape section is the list of approved plants for landscaping in Kinston.

Artifical plants are specifically prohibited.

2.18.4 Turf Limitation

To encourage water-wise landscaping, no more than 25% of the total landscaped area (the total Site area excluding the house footprint, driveway, sidewalk and patio) of any Site shall be irrigated turf. No more



than 40% is permitted if an alternative lawn grass is used (i.e. Buffalo Grass or artifical turf). Lawn shall be limited to areas with a minimum of 100 contiguous square feet and a minimum width of 8'. Lawn shall be utilized only where associated with usable spaces such as an extension of a patio, a play area, or as an outdoor room. See Figure 2.18C at the end of this landscape section for an example of how to calculate the turf area.

2.18.5 Artificial Turf

Artificial Turf is permitted in rear and side yards only and will be reviewed on case by case basis. No more than 40% of the total landscaped area (the total Site area excluding the house footprint, driveway, sidewalk and patio) of any Site shall be artifical turf. See Figure 2.18C for an example of how to calculate the turf area

2.18.6 Water Use

No landscape zone should be designed to require more than 22 inches of supplemental irrigation water in an average year (about 18 gallons/square foot during the growing season) which is the equivalent to what tall fescue grasses need to thrive in the region. Hydric (moisture-loving) plants should only be planted in depressions where they will naturally more moisture from the existing drainage pattern.

2.18.7 Backfill Zone

Irrigation systems are prohibited from being installed in the 5' area surrounding the foundation of any house ("Backfill Zone").

2.18.8 Drainage

Landscape improvements shall not impact the approved drainage pattern for the Site or surrounding Sites.

2.18.9 Gravel Mulch

Open gravel mulch areas (expanses of gravel in excess of 50' sf or wider than 3' that do not contain living plant material) shall be no more than 40% of the Total Landscape Area, unless otherwise approved by the DRB. Gravel color must be brown, tan or gray. Red, white and black gravel is specifically prohibited. Large expanses of gravel devoid of plantings in front or side corner yards is prohibited.

2.18.10 Wood Mulch

Wood mulch must be non-colored cedar mulch. Red color mulch is prohibited. Large expanses of wood mulch devoid of plantings in the front or side corner yard is prohibited.

2.18.11 Required Landscaping

A minimum of 60% of total landscaped area of any Site (the total Site area excluding the house footprint, driveway, sidewalk and patio) shall be composed of landscape plantings or landscape features (i.e. boulders, pavers, retaining walls, etc.).

For yards visible from a public street or common area foundation plantings are required, the minimum requirement is one row of five (5) gallon shrubs planted on 3' centers located along the foundation excluding patios. Foundation plantings and associated irrigation shall maintain required offset of 5' for the Backfill Zone.

Air-conditioning condenser units shall be screened from views from streets, trails and open space by minimum 5 gallon shrubs , 3' on center, stragetically planted in the front or side yards to screen the unit from view while still maintaining a safe distance from the unit.

Street trees with a minimum 2" caliper are required in all yards fronting a public street (excludes alleys and private shared driveways). Minimum requirements for front, side and rear yard shade trees, evergreen trees and ornamental trees vary by site size. See Figure 2.18 D for additional tree planting requirements.

See Figures 2.18A and 2.18B at the end of the landscape section for a Landscape Zone Keys by Product Type.

See Figures 2.18E, 2.18F, 2.18G, and 2.18H for specific landscape requirements per product type.



2.18.12 Landscaping for Privacy

Open views throughout the neighborhood are encouraged. Planting a continuous opaque hedge or similar around the entire perimeter of the Site is prohibited. Selected outdoor areas may be screened from neighboring views using deciduous or evergreen plantings.

2.18.13 Irrigation

Every Site is required to install an automatic irrigation system prior to completion of landscape and planting. Use of drip systems are strongly encouraged. All spray head zones are required to have head-to-head coverage or closer. Overspray on sidewalks and adjacent site is prohibited. Controller devices must be located inside the garage unless specifically approved by the DRB.

2.18.14 Orientation for Landscaping

All owners are encouraged to attend a landscaping orientation at the High Plains Environmental Center at Centerra. This brief session will explain the landscape specifications for Centerra, providing the reasons for the specifications outlined in these Landscape Guidelines. Examples of turf grasses, shrubs, trees and other native vegetation will be available to assist with owners in their landscape plans. Owners may contact High Plain Environmental Center to learn more or to register for the next orientation at info@suburbitat.org.

2.18.15 Landscape Edges

Edges of residential parcels should blend with the adjacent site. Harsh lines or the edges of properties, such as abrupt changes in mulch type/color or plant material placed in an obvious line, should be avoided. See Figures 2.18E, 2.18F, 2.18G, and 2.18H for examples of how to blend the landscaping between lots. Adjacent to open spaces areas the landscaping should be varied in height and density so as to avoid a hedge or total screen appearance. Instead, the landscape treatment should provide view openings between the private yards and the open space.

Concrete landscape edging is permitted. Concrete edging style must be the standard mower edge or slant style. Color must be grey. Stamped and/or colored concrete edging will be approved on a case-by-case basis.

2.18.16 Soil Amendment

Due to the clay-like consistency of the soils in Northern Colorado, it is recommended that compost or other organic matter be added to the soil, using a minimum of three (3) cubic yards per 1,000 square feet. Such soil amendment often aids in the establishment of all landscape material.

2.18.17 Front Range Appropriate Landscaping

Front Range appropriate landscaping is encouraged and consists of native plants which require little to no water. A minimum of 60% of total landscaped area of any Site (the total Site area excluding the house footprint, driveway, sidewalk and patio) shall be composed of landscape plantings or landscape features (i.e. boulders, pavers, retaining walls, etc.). Plant selections must comply with Centerra Plant List and must support visual interest year round.

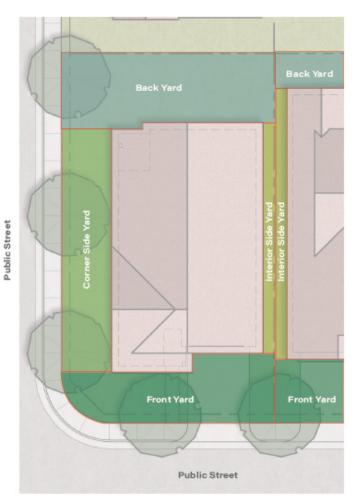
Submittal Requirements:

Residents who desire to install this style of landscaping in their front yard are required to submit a detailed landscape drawing to the DRB prior to installing the landscaping.





FIGURE 2.18A Example of Landscape Zones for Front Loaded and Cluster Product



The overall landscape should achieve a smooth and cohesive design by complementing adjacent landscape areas. The use of similar material, repetition of patterns, and smooth transitions between each zone is highly encouraged.

FRONT YARD

Front yards are the most visible private landscapes within Kinston; Therefore, the requirements for creating successful front yard landscapes are more stringent and intent upon creating complementary landscape conditions. In situations where front yards are adjacent to public open space, it is important that the private landscape responds to the public landscape. Plantings should "ground" the architecture by placing larger plants closer to the building.

CORNER SIDE YARD

Corner side yards, like front yards, are visible private landscapes. In Kinston, corner units are required to address both streets equally. In situations where corner side yards front public open space, it is important that the private landscape responds to the public landscape. Plantings should help screen the interior landscapes.

INTERIOR SIDE YARD

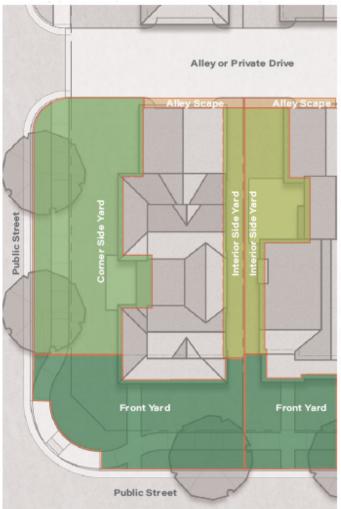
Interior side yards are less visible to the public but are still required to respond to their respective context. Interior side yards shall be screened from view with landscape material where possible and complement the overall landscape concept for the lot, while providing harmonious relationships with adjacent lots.

REAR YARD

Rear yard landscapes shall be consistent with and complement the overall landscape concept for the lot, while providing harmonious relationships with adjacent lots. Rear yards should be planted and maintained to provide shade and usable space.



FIGURE 2.18B Example of Landscape Zones for Rear Loaded Product



The overall landscape should achieve a smooth and cohesive design by complementing adjacent landscape areas. The use of similar material, repetition of patterns, and smooth transitions between each zone is highly encouraged.

FRONT YARD

Front yards are the most visible private landscapes within Kinston; Therefore, the requirements for creating successful front yard landscapes are more stringent and intent upon creating complementary landscape conditions. In situations where front yards are adjacent to public open space, it is important that the private landscape responds to the public landscape. Plantings should "ground" the architecture by placing larger plants closer to the building.

CORNER SIDE YARD

Corner side yards, like front yards, are visible private landscapes. In Kinston, corner units are required to address both streets equally. In situations where corner side yards front public open space, it is important that the private landscape responds to the public landscape. Plantings should help screen the interior landscapes.

ALLEY SCAPE

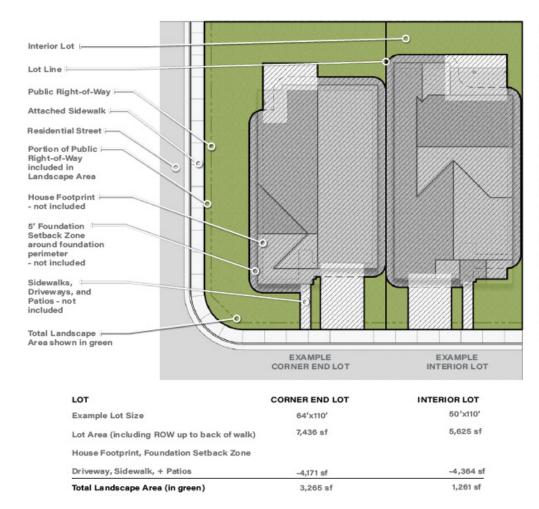
Alley scapes have the triple role of being "open" for safety, creating screening for utilities and trash, and softening the architecture. Plants and fencing should not impede visibility or access (both vehicular and pedestrian).

INTERIOR SIDE YARD

Interior side yards are less visible to the public but are still required to respond to their respective context. Interior side yards shall be screened from view with landscape material where possible and complement the overall landscape concept for the lot, while providing harmonious relationships with adjacent lots.



FIGURE 2.18C Example of Total Landscaped Area (TLA) and Landscape Calculations



TREE LAWN

Within the tree lawn the builder/homeowner shall be responsible for all planting and maintenance. Tree lawn shall be dogtuff or buffalo grass with street trees provided at intervals consistent with the requirements of city of Loveland ordinances. In case of metro district tracts, the metro district shall be responsible for installation.

TOTAL LANDSCAPED AREA

The total landscaped area of a lot is the total Lot area excluding the house footprint, driveway, front walk, and patio plus the portion of any adjacent right-of-way beyond the back of curb (excluding side walk).

All landscape plans shall include a chart outlining the total landscaped area for the lot and calculations that include, at minimum: planting beds, lawn and type, total proposed planted area, and open gravel mulch in both square feet and as a percentage of total landscaped area. An example format is provided below:

TOTAL LANDSCAPED AREA: 2,118 SF

Planting Beds:	996 sf (47%)
Lawn (Fescue):	468 sf (22%)
Total Planted Area:	1,464 sf (69%)
Open Gravel Mulch:	654 sf (31%)

><

FIGURE 2.18D Tree Planting Requirements

LOT SIZE	FRONT YARD	CORNER SIDE YARD (ADJACENT TO STREET)	SIDE YARD (ADJACENT TO COMMON OPEN AREA)	Rear Yard (Adjacent to Comm Open Area)
20-29' Width	1 Deciduous Shade Tree**, unless neighboring properties on either side have already provided shade trees at approximately 35' on center	1 Deciduous Shade Tree approximately every 35' on center	1 Ornamental Tree or 1 Evergreen Tree	1 Ornamental Tree or 1 Evergreen Tree
30'-59' Width	1 Deciduous Shade Trees	1 Deciduous Shade Tree approximately every 35' on center	1 Deciduous Shade Tree or 1 Evergreen Tree or 2 Ornamental Trees	1 Deciduous Shade Tree or 1 Evergreen Tree or 2 Ornamental Trees
60'-69' Width	2 Deciduous Shade Trees	1 Deciduous Shade Tree approximately every 35' on center	1 Deciduous Shade Tree or 1 Evergreen Tree or 2 Ornamental Trees	2 Deciduous Shade Tree or 2 Evergreen Trees
70'-79' Width	2 Deciduous Shade Trees	1 Deciduous Shade Tree approximately every 35' on center	2 Deciduous Shade Trees or 2 Evergreen Trees	2 Deciduous Shade Tree or 2 Evergreen Trees
80'+ Width	2-3 Deciduous Shade Trees	1 Deciduous Shade Tree approximately every 35' on center	2 Deciduous Shade Trees or 2 Evergreen Trees	2 Deciduous Shade Tree or 2 Evergreen Trees

**Deciduous Shade Trees located in the Front Yard or Corner Side Yard are intended to serve as Street Trees. When a tree lawn is present, the Front Yard tree(s) or Corner Side Yard tree(s) shall be planted centered within the tree lawn and at adequate spacing from any driveways or utilities. Where the sidewalk is attached to the back of curb and there is no tree lawn, the required trees shall be planted within the adjacent yard. All Front Yard and Corner Side Yard trees shall be planted approximately every 35' on center, taking into account spacing from trees already planted on adjacent properties.



FIGURE 2.18E Yard Checklist: Front Loaded Product (Garage in Front)

Planting beds adjacent to sidewalk or between the sidewalk and any fence

Lawn limited to areas associated with a specific use

Shade trees per Tree Planting Requirements table

Gravel mulch integrated with planted areas

Repetition and massing for cohesive aesthetic

6 Foundation setback zone

Ornamental trees where utility offsets or site constraints limit shade trees

Plant up to back of sidewalk

Foundation plantings required on all sides visible from street or open space while maintaining required offset defined at right

Street section may vary between detached walks with tree lawns and attached walks without. Refer to Tree Planting Requirements for more information on Street Trees and Tree Lawns.

Planting masses and mulch beds blend between lots

Additional trees beyond the Tree Planting Requirements, including ornamental trees, are strongly encouraged where space allows to create comfortable and beautiful outdoor spaces.



Typical CornerLot Landscape Plan Typical Interior Lot Landscape Plan



FIGURE 2.18F Yard Checklist: Rear Loaded Product (Garage in Back/Alley)

Planting beds adjacent to sidewalk or between the sidewalk and any fence

Tree Lawn incorporated into landscape plan

Plant up to back of sidewalk

 Ornamental trees where utility offsets or site constraints limit shade trees

Repetition and massing for cohesive aesthetic

Lawn limited to areas associated with a specific use

Foundation setback zone

Shade trees per Tree Planting Requirements table

Foundation plantings required on all sides visible from street or open space while maintaining required offset

Gravel mulch integrated with planted areas

Planting masses blend between lots

Street section may vary between detached walks with tree lawns and attached walks without. Refer to Tree Planting Requirements for more information on Street Trees and Tree Lawns.

 Additional trees beyond the Tree Planting Requirements, including ornamental trees, are strongly encouraged where space allows to create comfortable and beautiful outdoor spaces.



Typical Corner Lot Landscape Plan Typical Interior Lot Landscape Plan



FIGURE 2.18G Yard Checklist: Cluster Product





Typical Corner Lot Landscape Plan Typical Interior Lot Landscape Plan

Site Development Plan Requirements for the Millennium East 10th & 17th Subdivision

*Residents shall have a minimum of one deciduous shade tree within the front yard. (Residents are allowed to have an ornamental tree species as a front yard tree per the site development plan)

**Minimum Plant Material Size Required Per The Site Development Plan

- Trees (large/medium): 2" Caliper
- Shrubs (deciduous/evergreen): 1 Gallon

encouraged where space allows to create comfortable and beautiful

outdoor spaces.

- Ornamental Trees, single stem: 1.75" Caliper
- Ornamental Trees, multi-stem: 1" Caliper/cane, 3 Cane min
- Ornamental Grasses: 1 Quart Container
- Perennials: 1/4 Pots

This applies to the following addresses: (Millennium East 10th Subdivision) *Coming soon 17th Subdivision*

Wild Rye St.

*6220, 6228, 6234, 6256, 6248, 6240, 6260, 6264, 6270, 6294, 6286, 6278 Painted Turtle Ave *2699, 2693, 2687, 2683, 2675, 2669, 2698, 2692,2651, 2657, 2663, 2672, 2663, 2678, 2682, 2668, 2645, 2639, 2635, 2668, 2662, 2658, 2642, 2648, 2652, 2615, 2623, 2631, 2632, 2628, 2620 2511, 2607, 2603, 2602, 2608,2614 Silverheels Dr.

*2693, 2681, 2673, 2665, 2657, 2651, 2625, 2631, 2645, 2617, 2611, 2603



FIGURE 2.18H Yard Checklist: Attached Product (Duplex or Townhome)

Planting beds adjacent to sidewalk or between the sidewalk and any fence

Tree lawn incorporated into landscape plan

Lawn limited to areas adjacent to walks and be a minimum of 4' in depth

 Ornamental trees where utility offsets or site constraints limit shade trees

Foundation plantings required on all sides visible from street or open space while maintaining required offset

6 Plant up to back of sidewalk

Foundation setback zone

Shade trees per Tree Planting Requirements table

Repetition and massing for cohesive aesthetic

 Gravel mulch integrated with planted areas

Street section may vary between detached walks with tree lawns and attached walks without. Refer to Tree Planting Requirements for more information on Street Trees and Tree Lawns.

Additional trees beyond the Tree Planting Requirements, including ornamental trees, are strongly encouraged where space allows to create comfortable and beautiful outdoor spaces.



Typical Corner Lot Landscape Plan Typical Interior Lot Landscape Plan



The following plant list has been established and approved by the Centerra Design Review Committee (DRC) for the Centerra Master Planned Community. Any substitutions or variances from the following list must be submitted to the DRC for review and approval.

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	▲ Protect from sun and wind	R = Residential
		I = Industrial
Native*	Moisture Rating (Low Moisture – High Moisture)	$\mathbf{P} = \mathbf{Parks}$
		A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

* A native plant is defined as those native to the Rocky Mountain Inter-Mountain Region. **A pollinator is defined as those that provide food and/or reproductive resources for pollinating animals, such as honeybees, native bees, butterflies, moths, beetles, flies, and hummingbirds. **

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS								
Abronia fragrans	Snowball Sand Verbena	White	June-July	4-24"	4-24"	**	٠.	R, P
Agave americana	Century Plant	Greenish Yellow	Late Spring, Early Summer	6'-12'	6-10'	***	⊘→♦	UC May not be
Alnus incana ssp. tenuifolia	Thinleaf Alder	Purple	Early Spring	15-40'	15-40'	***	• • •	Host plant, catkins three
Amelanchier alnifolia	Saskatoon Serviceberry	White	Mid Spring	4'-15'	6'-8'	````````````````````````````````````	• •	*
Amelanchier canadensis	Shadblow Serviceberry	White	Mid Spring	25'-30'	15'-20'	``*`**	• •	High habita
Amelanchier utahensis	Utah Serviceberry	White	Mid Spring, Late Spring	12'	12'	***	۵	High habita
Amorpha canescens	Lead Plant	Blue, Purple	Late Spring, Early Summer	3'-6'	6'	****	٢	Possible re
Arctostaphylos uva-ursi	Kinnikinnick	Insignificant	Mid Spring, Late Spring, Early Summer	6"-12"	15'	````````````````````````````````````	۵	R, UC Prefers the
Aronia arbutifolia	Red Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	`` ₩`₩`₩		X A
Aronia melanocarpa	Black Chokeberry	White	Early Spring, Mid Spring, Late Spring, Early Summer, Mid-Summer	8'	6'	````````````````````````````````````		A A
Artemisia cana	Silver Sagebrush	Insignificant	Summer, Early Fall	1'-3'	3'	***	⊘ → ♦	Silver folia
Artemisia filifolia	Sand Sagebrush	Insignificant	Late Summer, Early Fall, Mid Fall, Late Fall, Early Winter	5'	3'	***	⊘→♦	Silver folia
Artemisia tridentata	Big Sagebrush	Insignificant	Early Summer	6'-12'	6'-8'	***	⊘→●	Silver folia

Notes
be reliably hardy, requires sandy/gritty soil
t, Spreads - more appropriate for parks, More tree-like; rough winter
A
itat value for pollinators and birds; Protect from wind
A itat value for pollinators and birds
A replacement for Russian Sage; host plant
epiacement for Russian Sage, nost plant
JC
e winter shade of pines; Requires excellent drainage
A iage; Drought tolerant; Water sparingly the 1 st year, and
ove irrigation.
A
iage; Water sparingly the 1 st year, and then remove irrigation.
А
iage; Water sparingly the 1 st year, and then remove irrigation.



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Mois
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS (Continued)								•
Atriplex canescens	Four-winged Saltbush	Insignificant	Early Spring-Late Fall	6'-12'	3-6'	**	⊘ → ♦	Interesting irrigation.
Buddleja davidii	Butterfly Bush	Insignificant	Early Summer – Early Fall	6'-12'	4'-15'	***	۵.	A; Must be
Caryopteris x clandonensis 'blue mist'	Blue Mist Spirea	Powder Blue	Late Summer - Mid Fall	2'-3'	2'-3'	***	• •	A; Honeybe spring
Cercocarpus intricatus	Littleleaf Mountain Mahogany	Insignificant	Early Spring, Mid Spring, Late Winter	6'	5'	****	⊘→●	A Bark and se open habit
Cercocarpus montanus	Mountain Mahogany	Yellow Green	Early Summer	8'	6'	****	⊘→♦	A Open habit;
Cercocarpus ledifolius	Curl-leaf Mountain Mahogany	Insignificant	Early-Mid Spring	10'-25'	10'-20'	***	⊘→♦	A Open habit;
Chaenomeles japonica	Japanese Quince	Red	Mid Spring	3'	6'	****	• •	Flowers app
Chamaebatiaria millefolium	Fernbush	White	Mid-Summer, Late Summer	5'	6'	***	⊘→●	Especially a landscapes;
Chrysothamnus nauseosus	Rubber Rabbitbrush	Yellow	Late Summer	4-6'	4-6'	***	⊘→♦	Syn. Erican
Chrysothamnus nauseosus ssp. nauseosus Dwarf Blue Rabbitbrush		Yellow	Fall	4'	4'	***	⊘→♦	Syn. Erican
Chrysothamnus viscidiflorus	Yellow Rabbitbrush	Yellow	Late Summer, Early Fall, Mid Fall	5'	5'	***	⊘→♦	Syn. Erican
Cornus alba	Tatarian Dogwood	Yellow Green	Late Spring, Early Summer	8'	6'	┊	۵ ۵	A 🏹
Cornus alternifolia	Alternate leaf Dogwood	Cream	Late Spring, Early Summer	25'	20'	- ★ -★-→★-★-★	• •	A A
Cornus racemosa	Grey Dogwood	White	Late Spring, Early Summer	15'	15'	***	• •	A 🏹
Cornus sericea	Redosier / Red Twig Dogwood	White	Spring to Summer	6-8'	6-8'	````````````````````````````````````		Red stems
Corylopsis glabrescens	Winterhazel	Light Yellow	Early Spring	15'	8'	****	• •	UC, R
Corylus americana	American Hazelnut	Tan	Early Spring, Mid Spring	15'	13'	***	• •	UC, R
Cotoneaster adpressus	Creeping Cotoneaster	White	Late Spring, Early Summer	2'	6'	***	•	A; Red berr

	Abbreviations for Recommended District/Area:
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isture)	P = Parks
	A = All districts/areas (excluding natural areas)

Notes

A

ig seed pods; Water sparingly the 1st year, and then remove

be deadheaded to maintain looks; cut back in winter

ybee forage; will re-seed in irrigated areas; Often cut back in

seeds provide nice texture; semi-evergreen provides shelter; it

oit; Appealing, curly seeds

oit; Appealing seeds

appear before foliage.

UC, I, P y attractive to bumblebees; Suitable for conventional es; Semi-evergreen

ameria; extremely high habitat value

А

ameria; extremely high habitat value

А

cameria; extremely high habitat value

Ans provide winter interest

erries

2 | Page

LEGEND		
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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
SHRUBS (Continued)								
Cotoneaster apiculatus	Cranberry Cotoneaster	Light Pink	Late Spring, Early Summer	2'	6'	````````````````````````````````````	۵	A; Stiff arching branches, red berries
Cotoneaster dammeri	Bearberry Cotoneaster	White	Late Spring	2'	6'	****	۸ ۸	A; Red berries
Cotoneaster hessei	Cotoneaster	Light Red	Late Spring	18"	5'	****	• •	A; Red berries
Cotoneaster multiflorus	Many-flowered Cotoneaster	White	Early Summer, Mid- Summer	12"	4'	*****	٢	A; Red berries
Crataegus erythropoda	Shiny-leaved Hawthorn	White	Spring	10-20'	8-15'	*****	• •	
Crataegus phaenopyrum	Washington Hawthorn	White	Early Summer	20'-25'	20'	***	• •	X A
Ephedra americana	Jointfir	Light Yellow	Late Spring, Early Summer	4'	3'	***	⊘ → ♦	A; Semi-evergreen
Ephedra viridis	Mormon Tea	Insignificant	Early Spring	4'-6'	4'-6'	***	۵	
Euonymus alatus	Burning Bush	Insignificant	Late Spring	15'-20'	8'-12'	****	♦ ♦	U; Bright red foliage
Euonymus kiautschovicus 'Manhattan'	Manhattan Euonymus	Insignificant	Mid-Summer	4'-5'	5'-6'	☀	• •	U Evergreen; Spreading habit broadleaf for full shade
Fallugia paradoxa	Apache Plume	White	Late Spring – Early Winter	3'-5'	3'-5'	**	٢	Appealing seed heads; Flowers attract honeybees and native bees
Forestiera neomexicana	New Mexico Privet	Insignificant	Mid Spring – Late Spring	8'-12'	6'-8'	***	۵	
Juniperus horizontalis	Creeping Juniper	N/A	N/A	18"	8'	***		A; Evergreen
Juniperous x media 'pfitzeriana compacta'	Compact Pfitzer Juniper	N/A	N/A	18"	5'	***	٢	A; Evergreen; Blue green foliage, irregularly round habit
Juniperus x media 'sea green'	Seagreen Juniper	N/A	N/A	5'-6'	6'-8'	***	⊘→♦	A; Evergreen
Juniperus sabina	Juniper	N/A	N/A	4'-6'	5'-10'	***	♦ ♦	A; Evergreen
Juniperus squamata	Singleseed Juniper	N/A	N/A	16'	3'	** ***	۵	R Evergreen; Use in protected areas
Ligustrum vulgare	European Privet	White	Early Summer, Mid- Summer	3'	4'	*****	٢	UC; Use for hedge applications only; Low habitat value
Malus sargentii	Sargent Crabapple	White	Mid Spring, Late Spring	8'	15'	*****	• •	A Benefits birds
Mahonia aquifolium	Compact Oregon Grape Holly	Yellow	Spring	6'	6'	`` `	٢	Early blooms for pollinators, berries for birds; Foliage interest
Mahonia repens	Creeping Grape Holly	Yellow	Late Spring, Early Summer	1'-2'	3'	**	• •	Early blooms for pollinators, berries for birds; Foliage interest
Perovskia atriplicifolia	Russian Sage	Lavender	Late Summer, Fall	3'-5'	2'-4'	***	⊘→●	A Consider subbing with a native species (i.e. leadplant); honeybee forage only

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS (Continued)								1
Philadelphus coronarius	Mock Orange	White	Late Spring, Early Summer	10'	10'	****	• •	P; Fra
Philadelphus lewisii	hus lewisii Mock Orange		Late Spring, Early Summer	7'	6'	***	۵	Preferred sp
Philadelphus microphyllus	Little-leaf Mockorange	White	Late Spring, Early Summer	4'-6'	4'-6'	★	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	**************************************
Physocarpus monogynus	Mountain Ninebark	White	Spring	4'	4'	***	۲	
Physocarpus opulifolius	Ninebark	Light Pink, White	Late Spring, Early Summer	6'	4'	***	۵	
Physocarpus opulifolius 'nanus'	Dwarf Ninebark	White	Late Spring, Early Summer	1'-2'	2'-3'	****	$\begin{array}{c} \bullet \rightarrow \\ \bullet \bullet \end{array}$	
Picea pungens 'Thume'	Colorado Blue Spruce	N/A	N/A	8'	4'	***	۵	A; Evergree
Pinus sylvestris 'Repens'	Creeping Scot's Pine	N/A	N/A	50"	30"	★ ★ → ★ - ★ - ★	۵	A; Evergree
Potentilla fruticosa	Potentilla	Yellow	Summer	2'-3'	2'-3'	***	•	A; Any
Prunus besseyi	Western Sand Cherry	White	Spring	3'	6'	***	⊘ → ♦	Attractive a
Prunus maackii	Amur Chokecherry	White	Late Spring	20'-30'	18'-25'	****	• •	Golden, exf
Prunus virginiana melanocarpa	Western Chokecherry	White	Spring	20'	12'	*****	۵	Attractive a wide range
Purshia mexicana	Mexican Cliffrose	Light Yellow	Mid Spring, Late Spring, Early Summer	6'	4'	***	⊘→●	W O P
Purshia tridentata	Antelope Bitterbrush	Yellow	Late Spring, Early Summer	8"	8"	***	• •	Scrubland s
Pyracantha angustifolia 'gnome'	Gnome Firethorn	White	Late Spring	4'-6'	4'-8'	-* - * - * - * -	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	I, P; Large,
Quercus gambelii	Gambel Oak	Insignificant		8'-20'	6'-12'	***	۵	Host plant;
Rhamnus smithii	Smith's Buckthorn	Yellow Green	Late Spring, Early Summer	10'	10'	***	۵	P, R, I
Rhus aromatica 'gro-low'	Grow Low Sumac	Insignificant	Late Spring	1'-2'	6'-8'	*****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Nr A Brilliant fal
Rhus glabra	Smooth Sumac	Insignificant	Early Summer	9'-15'	9'-15'	*****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	Brilliant fal

Notes Fragrant A; Fragrant species of mock orange A; Fragrant A A reen; Any cultivars are appropriate reen; Any cultivars are appropriate Any cultivators are appropriate and reliable for many sites; great native bee plant exfoliating bark e and reliable for many sites; high habitat value for birds and ge of pollinators; Can spread like crazy P, R P, R d shrub; Plant in well drained area ge, persistent orange berries; Wicked thorns 🔊 Р nt; Plant on gravel berm; Must have excellent drainage fall foliage fall foliage

LEGEND		
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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Scientific Name Common Name		Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS (Continued)		Color						
Rhus trilobata	Three-leaf Sumac	Insignificant	Mid Spring, Late Spring	6'	6'	***	⊘→	High habita
Ribes alpinum	Alpine Currant	Yellow Green	Mid Spring	6'	6'	****	۵	A 🏹
Ribes americanum	American Black Currant	Yellow	Spring	2-4'	2-4'	****	• •	▶ 7 P, R
Ribes aureum	Golden Currant	Yellow Orange	Mid Spring, Late Spring	3'-7'	2'-6'	★★→★★ ★	• •	High habita queens; Wi
Ribes cereum	Wax Currant	Light Pink	Mid Spring	4'	4'	***	۵	
Ribes odoratum 'Crandall'	Clove Currant	Yellow	Mid Spring	5'	10'	*****	۵	Great fall c
Rosa glauca	Redleaf Rose	Pink	Late Spring, Early Summer	8'	5'	***	۵	Red-purple
Rosa	All shrub roses, including: Hybrid Rugosa Rose Floribunda Rose Explorer Series	Light Pink	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	7'	7'	***	• •	P, R; Low I
Rosa 'Nearly Wild'	Floribunda Rose	Pink	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	4'	***		P, R; Low I
Salix irrorata	Bluestem Willow	Insignificant	Spring	12'	8'	****	• •	P, R, Street
Salix purpurea 'nana'	Dwarf Artic Willow	Insignificant	Spring	3'-5'	3'-5'	***		P, R, Street
Sambucus ebulus	Dwarf Elderberry	White	Mid-Summer, Late Summer	4'	4'	***	• •	May be ran
Shepherdia argentea	Buffaloberry	Yellow	Early Spring	8'-12'	8'-12'	*****	⊘→♦	Edible fruit
Sibiraea laevigata	Siberian Spirea	White	Early Summer	5'	8'	****	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	P, R, Stree
Spiraea fritschiana	Korean Spirea	White	Early Summer, Mid- Summer	3'	4'	***		UC, P, Stre
Spiraea japonica	Japanese Spiraea	Pink	Late Spring, Early Summer, Mid-Summer	3'	3'	****	• •	UC, P, Stre

Notes

A

itat value, especially for native bees; Use in masses; Brilliant ge

<u>د</u>

P

itat value, esp. for migrating hummingbirds and bumblebee Will sucker; Red autumn foliage is amazing

A

P, R ll color; Good for birds R. UC

ble foliage provides nice contrast

w habitat value for pollinators; Provides habitat for birds

w habitat value for pollinators; Provides habitat for birds

etscape

eetscape

angy in small yards; Bird plant

• O P, I

uit; Silver foliage; Provides habitat for birds eetscape

Streetscape

Streetscape

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
SHRUBS (Continued)								
Spiraea myrtilloides	Myrtle Spirea	White	Early Summer, Mid- Summer	8'	4'	** *	$\spadesuit \rightarrow \blacklozenge \blacklozenge$	UC, P, St
Spiraea prunifolia	Bridal Wreath Spirea	White	Mid Spring, Late Spring	8'	8'	★★→★★ ★	• •	UC, P, St
Spiraea trilobata	Three-lobed Spirea	White	Late Spring, Early Summer	4'	4'	****		UC, P, St
Symphoricarpos occidentalis	Snowberry	White	Mid-Summer	3'-6'	3'-6'	★★→★★ ★	• •	Great plan
Symphoricarpos orbiculatus	Red Coralberry	White, Green	Mid Spring, Early Summer	3'-6'	3'-6'		$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A
Syringa meyeri 'palibin'	Dwarf Korean lilac	Pale pink	Mid Spring, Late Spring	4-5'	5-7'	***	• •	A ; F
Syringa vulgaris	Common Lilac	Purple - White	Late Spring	20'	12'	***	۲	Susceptibl
Viburnum carlesii	Koreanspice Viburnum	White	Early Spring, Mid Spring	5'	6'	* →***	۸ ۸	A ; F
Viburnum dentatum	Southern Arrowwood	White	Late Spring, Early Summer	8'	8'	* →***		P, UC; Un
Viburnum lantana	Wayfaringtree	White	Late Spring	10'	8'	* →***	۵	P, UC, I
Viburnum lentago	Nannyberry	White	Late Spring	15'	8'		۵	P, UC, I; U
Viburnum trilobum 'Compactum'	American Cranberrybush	White	Mid Spring	5'	5'	<u>`</u> ₩- <u></u> ₩- <u>₩</u> - <u>₩</u> -	٢	P, UC, R;
Viburnum x burkwoodii	Burkwood Viburnum	White	Mid Spring	8'	8'		• •	P, UC, R
Yucca glauca	Soap Weed	White	Summer	2-3'	2-3'	***	⊘→♦	
FORBS								
Achillea lanulosa	Woolly Yarrow	White	Summer	18"	18"	***	۲	
Achillea millefolium	Common Yarrow	White	Early Summer, Mid- Summer, Late Summer, Early Fall	2'	3'	***	۵	💓 A; C
Adenolinum (linum) lewisii	Blue Flax	Blue	Summer	12"	12"	***	٢	Short-live
Agastache cana	Double Bubblemint	Pink	Summer-Fall	3'	2'	***	٢	
Agastache foeniculum	Anise Hyssop	Blue	Summer-Fall	3'	2'	***	٢	
Agastache rupestris	Sunset Hyssop	Orange	Late Summer, Fall	1'-2'	1'-1.5'	** *	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	*
Aguilegia caerulea	Rocky Mountain Columbine	Blue, White	Mid to Late Spring	1'-2'	1'-2'	** *	• •	*
Ajuga reptans 'Mahogany'	Bugleweed	Blue	Late Spring, Early Summer	6"	6"	*	• •	X R; G

N	01	tes	
	U	ucs	

Streetscape

Streetscape; Invasive in eastern U.S.

Streetscape

јр Р

lant for birds

Fragrant

, I, R

tible to powdery mildew; Fragrant

Fragrant

Uniform branching habit

I; Upright arching branches

R; Fruit bearing

• A; Forage for wide range of small pollinators

Can be aggressive; Any cultivar is okay

A ved, but re-seeds; gives a "wild" or "natural" effect
A; High habitat value for long-tongued pollinators

A; Especially attractive to bumble bees

A; High habitat value for long-tongued pollinators

A; Colorado State flower

Ground cover; Spreads aggressively

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS (Continued)		•		1				
Alchemilla mollis	Lady's Mantle	Yellow Green	Early Summer	2'	2'	*	۵.	A; T:
Amsonia jonesii	Jones' Bluestar	Light blue	Mid Spring, Late Spring, Early Summer	2'	2'	***	۲	
Anthemis marschalliana	Filigree Daisy	Yellow	Late Spring, Early Summer, Mid-Summer	4"	12"	***	۵.	R ; T
Aquilegia chrysantha	Golden Columbine	Yellow	Late spring	3'	2'	****	۵	X A; L
Armeria maritima	Sea Thrift	Pink	Mid Spring, Late Spring, Early Summer	12"	12"	***	۵.	P , R
Artemisia frigida	Fringed Sagebrush	Yellow	Summer	2'	2'	***	⊘→♦	
Artemisia ludoviciana	Prairie Sage	Yellow	Summer	40"	36"	***	⊘→♦	A Silver folia
Artemisia schmidtiana	Wormwood	White	Early Summer	18"	24"	***	۵	А
Artemisia versicolor 'seafoam'	Seafoam Artemisia	Yellow	Mid-Summer	6"-12"	18"-24"	***	•	A; Low wa
Asclepias incamata	Swamp Milkweed	White/Pink	Summer	36-72"	24"	***	• •	host; High
Asclepias tuberosa	Butterfly Weed	Orange	Summer	12"	12"	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	*
Aster alpinus 'Goliath'	Goliath Alpine Aster	Light Blue	Mid Spring, Late Spring, Early Summer	12"	18"	**** *	۵	💓 A; E
Aster ascendens	Western Aster	Light Purple	Late Spring, Early Summer, Mid-Summer	24"	24"	***	۵	Syn. Symp and birds;
Aster ericoides	Many-flowered Aster	White	Late Summer	18-24"	24"	***	۵.	
Aster falcatus	Rough White Aster	White	Late Summer	24-48"	24"	***		
Aster hesperius	Western Aster; Violet Aster	Pink	Late Summer	36-60"	20"	***		***
Aster x frikartii 'monch'	Monch Aster	Lavender	Late Summer, Fall	2'-3'	1'-1.5'	**** *		X A; H
Aster porteri	Porter's Aster	White	Late Summer	18-24"	24"	***	۵	*
Aubrieta deltoidea	Purple Rockcress	Purple	Mid Spring, Late Spring, Early Summer	6"	12"	***	۵	💓 R, P
Baptisia australis	Blue Wild Indigo	Blue	Late Spring, Early Summer	4'	3'	**** *	۵	Attractive

Notes

Tidy and attractive in the right setting

K A

; Tidy border plant; Prefer Engelmann Daisy

; Long blooming

R; Tidy border plant

A; Silver foliage

bliage; Can spread to become groundcover

water; Grey foliage

A; Superior milkweed choice for landscaping; Monarch gh habitat value

R, P, Streetscape; Monarch host; High habitat value

A

mphyotrichum ascendens; High habitat value for pollinators s; Good for buffers

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

; High habitat value for pollinators and birds

A; High habitat value for pollinators and birds

ve to bumblebees; Long lived; Shrub like perennial

LEGEND		
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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS (Continued)								
Bergenia cordifolia	Heartleaf Bergenia	Pink	Late Spring	1'-1.5'	1'-1.5'	┊┊┊┊┊┊┊		A; Large evergreen leaves
Berlandiera lyrata	Chocolate Flower	Yellow	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	24"	18"	***	٢	A; Fragrant
Callirhoe involucrata	Poppy Mallow	Red violet	Summer	6"	18"	***	۵	Easy care; Host for fritillary butterflies; Spreading plant
Calylophus serrulata	Calyophus	Yellow	5-9	8-12"	15"	★★→★★ ★	۵	
Campanula cochlearifolia	Earleaf Bellflower	Violet	Late Spring, Early Summer, Mid-Summer	6"	12"	* → * **		А
Campanula persicifolia	Willow Bell	Blue	Early Summer, Mid- Summer	3'	18"	***	۸ ۵	A
Campanula rotundifolia	Bluebell Bellflower	Light Blue	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	8"	**	۵	
Centranthus ruber	Red Valerian	Pink	Late Spring	3'	2'	***	٢	P, Streetscape Indestructible, benefits from timely deadheading
Cerastium tomentosum	Snow-in-Summer	White	Early Summer	.5'-1'	.75'-1'	***	⊘→♦	My Aggressive; Silver foliage
Ceratostigma plumbaginoides	Plumbago	Blue	Mid-Summer, Late Summer, Early Fall	12"	24"	* →* * *	۵	W P, R, Streetscape; Late blooming perennial
Clematis	Clematis	White - Purple	Early Summer, Late Summer, Mid-Summer	6'	Vine	***		R; Will need support
Convallaria majalis	Lily of the Valley	White	Early Spring	12"	15"	- ₩-→-₩-₩-	۵.	R; Understory plant; Fragrant
Coreopsis verticillata	Coreopsis	Yellow	Summer	1.5'-2'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	A A
Crambe maritima	Curly Leaf Sea Kale	White	Late Spring, Early Summer	6'	4'	***	٠.	P; Use as contrast foliage; Huge plant
Dalea purpurea	Purple Prairie Clover	Rose, Purple	Summer	1'-3'	1'-1.5'	***	٠.	
Delosperma cooperi	Hardy Ice Plant	Red purple	Summer, Early Fall	.25'5'	1'-2'	***	⊘→♦	₩ A; Semi-evergreen
Dianthus 'Bath's Pink'	Cheddar Pink	Pink	Late Spring	10"	10"	***	۵.	P, R, UC; Semi-evergreen
Digitalis lanata	Grecian Foxglove	Cream	Early Summer, Mid- Summer	24"	18"	** *		X A
Digitalis obscura	Sunset Foxglove	Yellow	Late Spring Early Summer	24"	20"	****		A; Preferred foxglove selection – Plant Select
Echinacea purpurea	Eastern Purple Coneflower	Light Purple	Early Summer, Mid- Summer, Late Summer	3'	2'	***	• •	P, R High habitat value: Low maintenance; A favorite of rabbits

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS (Continued)								
Echinacea tennesseensis	Small Tennessee Purple Coneflower	Purple	Early Summer, Mid- Summer, Late Summer	30"	24"	***	۵	X A; H
Engelmannia peristenia	Englemann Daisy	Yellow	Late Spring Early Summer	24"	30"	***	٠	A Plant Selec
Erigeron speciosus	Aspen Daisy	Lavender	Summer	24"	24"	***	۵	🛛 💓 A; M
Eriogonum umbellatum	Sulfur Flower	Yellow	7-8	6-18"	24"	***	٨	P, R,
Euonymus fortunei 'Coloratus'	Purpleleaf Wintercreeper	White	Mid Spring	.5'75'	1'-3'	★ ★ ★ ★ ★	۵.	A; Ev
Gaillardia aristata	Blanket Flower	Red/ Yellow	Summer, Fall	24"	24"	***	۵	Long blood
Galium odoratum	Sweet Woodruff	White	Mid to Late Spring	.5'-1'	.75'-1.5'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Aggress
Gaura lindheimeri	Beeblossom	White/Pink	Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	3'	2'	** ** *	۵	• P, R,
Geranium cultivars		Pale Pink - Violet	Summer	2'	2'	`*`***	۵.	A P, R,
Glandularia wrightii		Pink	Early Summer	3"	6"	***	٢	A; Li
Gutierrezia sarothrae	Snakeweed	Yellow	Late Summer, Early Fall, Mid Fall	3'	3'	**	⊘→●	*
Helianthemum grandiflorum ssp. grandiflorum	Rockrose	Yellow	Late Spring, Early Summer	12"	24"	***	۵	W P, R;
Helianthus annuus	Annual Sunflower	Yellow	Summer	10'	3'	***	٠	A; H should be a maintenan
Helianthus maximiliani	Maximilian sunflower	Yellow	Early Fall	3'-10'	2'-4'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	*
Hemerocallis ssp.	Daylily	Varies	Summer	1'-3'	1'-3'	** *	۵	great for to
Hesperaloe parviflora	Red Yucca	Pink	Summer	3'	3'	***	⊘→	High habit
Heuchera pulchella	Sandia Mountain Coral Bells	Pink	Late Spring, Early Summer	6"	12"	****	٢	P, R, UC;
Heuchera sanguinea	Coral Bells	Pink, Red	Late Spring, Early Summer	1'-1.5'	.75'-1'	** *		P, R, UC;
Hosta sagae	Hosta	Light Purple	Mid-Summer, Late Summer	3'	3'	*		A; Workho

Notes

High habitat value; Low maintenance; A favorite of rabbits

lect; Preferred over Anthemis

May spread aggressively

R, UC; Semi-evergreen; Persistent seed heads

Evergreen

A

ooming period, especially when deadheaded; Tolerates heat ressive spreader

R, UC; Excellent long blooming perennial

R, UC

Likes sandy soil

A; Shrub like

R; Attractive all season long

; High habitat value; even if not included in design, there be allowance to keep them in the landscape; included in ance guidelines; will re-seed

A

UC, Streetscapes; Low habitat value – restrained use, but r tough locations

DA

bitat value for pollinators, esp. hummingbirds; Habit provides

C; Best used in sheltered contexts, understory

C; Best used in sheltered contexts, understory

chorse in shady sites; Low habitat value



LEGEND	
Preferred Species	Do not over water
Allowed Species	Protect from sun and wind
* Native*	Moisture Rating (Low Moisture – High Mois
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS (Continued)								
Hyssopus officinalis	Common Hyssop	Violet	Early Summer, Mid- Summer, Late Summer, Early Fall	10"	10"	***	۵	A; Aş
Iris x germanica	Bearded Iris	Blue-Purple	Late Spring	2'-3'	1'-2'	***	۵.	А
Iris missouriensis	Blue flag Iris	Blue-Purple	Spring	24"		***	• •	A; Early b
Kniphofia caulescens	Torch Lily	Coral Red, Yellow	Mid-Summer	2'-4'	1'-2'	***	۵.	X A
Kniphofia uvaria	Red Hot Poker	Red	Late Spring, Early Summer	24"	24"	***	۵	₽ , R,
Lavandula angustifolia	English Lavender	Purple	Late Spring, Early Summer, Mid-Summer	18"	18"	***	۵	Fragrant; S winter
Leucojum aestivum	Summer Snowflake	White	Early Spring, Mid Spring, Late Spring, Late Winter	2'	1'	**		R, P; Bulb
Liatris ligulistylus		Magenta	Mid-Summer, Late Summer	2'	1'	***	٠.	
Liatris punctata	Dotted Gayfeather	Pink, Purple	Late Summer, Fall	1-3'	1-3'	***	• •	wildflower
Liatris pycnostachya	Prairie Blazing Star	Light Purple	Mid-Summer, Late Summer	5'	18"	***		A; Su
Liatris spicata	Prairie Gayfeather	Magenta	Mid-Summer, Late Summer	24"	24"	***	۵	A; Pl
Linum perenne	Perennial Flax	Light Blue	Early Summer	24"	24"	***	٢	💓 A; A
Lonicera spp.	Vining Honeysuckles		Early Summer, Mid- Summer, Late Summer	Vine	Vine	***	۵	X A
Lupinus argenteus	Silvery Lupine	Purple	Summer	2'	2'	***	۵	Availabilit and great f
Lupinus neomexicanus	New Mexico Lupine	Light Blue	Late Spring, Early Summer	24"	24"	***	۵	A; Ay
Lychnis chalcedonica	Maltesecross	Red	Late Spring, Early Summer, Mid-Summer	4'	18"	***	۵.	R; Sil
Lysimachia nummularia	Creeping Jenny	Yellow	Late Spring, Early Summer	4"	18"	* →***	۵.	X R; Ma
Machaeranthera bigelovii	Sante Fe Aster	Blue	Fall	1'-3'	1'-2'	***	٢	X A; W
Mirabilis multiflora	Four O'Clock	Red-violet	Summer	3'	4'	***	⊘ → ♦	Attractive

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isture)	P = Parks
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Notes Agastache spp. are preferred bloom - nectar and pollen for bees; aquatic shelter R, UC; Favorite of hummingbirds, but can be finicky UC, Streetscape ; Superb honeybee forage; May rot out in heavy soils over lbs in spring • A; Superb plant for butterfly habitats A; Superb plant for butterfly habitats; Also good for ver seeding in natural areas Superb plant for butterfly habitats Plant for butterfly habitats; Least preferred Liatris Also see Adenolinum (linum) lewisii ility will be an issue, great once established; Host for blues at forage for larger bees Availability will be an issue Silver Foliage May spread aggressively Will self-seed, short lived

ve mounding habit; Attractive to hawk moths and gbirds; Requires excellent drainage

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS (Continued)							Tierras	
Monarda fistulosa	Wild Bergamot	Pink	Summer	36"	24"	***	۵	High habitat value when in bloom for bumblebees, hummingbirds and butterflies; Very hardy
Oenethera caespitosa	White Stemless Evening Primrose	White	Early Summer, Mid- Summer, Late Summer	12"	18"	***	⊘→♦	
Oenothera macrocarpa	Evening Primrose	Yellow	Summer	12"	24"	***	⊘→♦	P, R, Streetscapes; Often called O. missouriensis
Opuntia basilarus	Beavertail Cactus	Red, Pink, Purple	Late Winter, Spring, Early Summer	1'-3'	2'-3'	***	۵	
Origanum libanoticum	Hopflower Oregano	Lavender	Late Summer, Early Fall	18"	24"	**	٠.	A; Attractive habit even after bloom has stopped
Paeonia suffruticosa	Mountain Peony	White	Mid Spring, Late Spring	5'	5'	***	• •	W P, R: Tree peonies are high maintenance
Paxistima canbyi	Canby's Mountain Lover	White	Mid Spring	12"	12"	*	• •	A; Plant Select
Penstemon albidus	White Penstemon	White	Mid Spring, Late Spring, Early Summer	12-16"	12"	***	٢	A; High habitat value for pollinators
Penstemon angustiflius	Narrow-leaved Penstemon	White	Mid Spring, Late Spring, Early Summer	12-24"	12"	***	⊘→♦	A; High habitat value for pollinators
Penstemon barbatus	Scarlet Bugler	Red	Summer	36"	18"	***	۲	A; High habitat value for pollinators
Penstemon eatonii	Firecracker Beardtongue	Red	Early Summer	24"	18"	***	۲	A; High habitat value for pollinators
Penstemon grandiflorus	Large Beardtongue	Red	Summer	36"	12"	***	٢	A; High habitat value for pollinators
Penstemon linariodes v coloradoensis	Blue-mat Penstemon	Blue	Late Spring, Early Summer	.5'-1'	.5'-1'	***	۲	N A
Penstemon x mexicalli 'Pike's Peak'	Pike's Peak Penstemon	Purple	Early Summer, Mid- Summer, Late Summer	1'-1.5'	.5'-1'	***	۵	
Penstemon x mexicalli 'Red Rocks'	Red Rocks Penstemon	Pink	Early Summer, Mid- Summer, Late Summer	1'-1.5'	.5'-1'	***	۵	
Penstemon pinifolius	Pine-leaf Beardtongue	Magenta	Summer	8"	15"	***	٠	A; High habitat value for pollinators
Penstemon pseudospectabilis	Desert Beardtongue	Magenta	Late Spring, Early Summer, Mid-Summer, Late Summer	32"	24"	***	٠	A; High habitat value for pollinators
Penstemon secundiflorus	One-sided Penstemon	Pink/ Purple	Summer	24"	24"	***	۵	A; High habitat value for pollinators
Penstemon strictus	Beardtongue, Rocky Mountain Penstemon	Purple	Late spring	24"	24"	**	۵	A; High habitat value for pollinators
Penstemon virens	Greenleaf Penstemon	Blue-Purple	Summer	12"	12"	***	⊘ → ♦	A; High habitat value for pollinators
Penstemon virgatus	Tall One-Sided Penstemon	Pink	Early Summer	12"	18"	**	⊘ → ♦	A; High habitat value for pollinators

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
FORBS (Continued)		·						
Phlomis cashmeriana	Cashmere Sage	Light Pink	Early Summer	3'	2'	★★→★★ ★	۵	P , R
Phlomis russeliana	Jerusalem Sage	Light Yellow	Late Spring, Early Summer, Mid-Summer	3'	2'	***	۵	₩ P, R
Phlox carolina	Thickleaf Phlox	Pink	Mid-Summer, Late Summer, Early Fall, Mid Fall	36"	30"	***	• •	A A
Phlox divaricata	Wild Blue Phlox	Light Pink, Light Blue	Mid Spring, Late Spring	18"	40"	★★→★★ ★		A 🔊
Phlox maculata	Wild Sweetwilliam	Magenta	Late Summer, Early Fall, Mid Fall	18"	2'	***		A
Phlox subulata	Moss Phlox	Magenta, Violet	Mid Spring, Late Spring, Early Summer	6"	18"	**		A
Polemonium caeruleum	Jacob's Ladder	Yellow	Mid Spring, Late Spring	24"	18"	*	۵.	A 🔊
Primula denticulata	Primrose	Pink, Blue, Purple, White	Early Spring, Mid Spring	6"	12"	*		X A
Pycnanthemum virginianum	Virginia Mountainmint	White	Mid-Summer, Late Summer	24"	36"	***	• •	₩ P, R
Ratibida columnifera	Prairie Coneflower	Yellow	Summer	18"	12"	***	⊘ → ♦	*
Ratibida pinnata	Pinnate Prairie Coneflower	Yellow	Early Summer, Mid- Summer, Late Summer, Early Fall	5'	18"	***	⊘→●	X A
Rudbeckia hirta	Blackeyed Susan	Gold	Summer	3'	1'	***		
Rudbeckia maxima	Great Coneflower	Yellow	Early Summer, Mid- Summer	7'	18"	***	۵	N P
Rudbeckia triloba	Brown-Eyed Susan	Yellow	Mid-Summer, Late Summer, Early Fall, Mid Fall	3'	3'	***	• •	P, R,
Salvia azurea var. grandiflora	Pitcher Sage	Blue	Mid-Summer, Late Summer, Early Fall, Mid Fall	4'	3'	***	۵	Hot/ late se
Salvia daghestanica	Dwarf Silver-leaf Sage	Blue	Late Spring, Early Summer	12"	12"	***	۵	*
Salvia greggii 'Furman's Red'	Salvia 'Furman's Red'	Red	Spring, Summer, Fall	2'-3'	2'-3'	***	٢	💓 A; L
Salvia nemerosa 'may night'	Salvia 'May Night'	Dark Blue	Late Spring – Early Summer	1.5'-2'	1'-1.5'	***		• A; C
Salvia pachyphylla	Mojave Sage	Purple	Summer	2'-3'	2'-3'	***	۵	organic ma
Salvia officinalis	Sage	Light Purple	Early Summer	24"	24"	***	۵	💦 R, U

Notes
R; Nice texture; Moderate habitat value
R
R
A; Very tough plant
P, R, UC, Streetscapes
R, UC, Streetscapes
P
season forage for many bees, butterflies, hummingbirds
R, UC; Texture on silver foliage
Loves hot weather
Can spread into natural areas; Deadhead
R, UC; Low survival rate; Consider bare root planting; Hates matter and water
UC; Fragrant foliage

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
FORBS (Continued)								
Saponaria ocymoides	Rock Soapwort	Pink	Late Spring, Early Summer	9"	30"	***	۲	P , R, UC
Sedum 'Autumn Joy'	Autumn Joy Sedum	Pink	Late Summer	1.5'-2'	2'	***	۵	A; Butterfly host plant
Santolina chamaecyparissus	Gray Santolina	Yellow	Mid-Summer	1.5'-2'	1.5'-2'	***		A A
Sphaeralcea munroana	Tall Globernallow	Pink, Orange	Late Spring, Early Summer	1'-2'	.5'-1'	***	٢	
Sphaeralcea coccinea	Globe Mallow	Red, Orange	Spring, Summer, Early Fall	1'-1.5'	1'	***	۲	A; Wildflower for natural areas
Stanleya pinnata	Princes Plume	Yellow	Spring, Summer, Early Fall	4'-5'	2'-5'	***	⊘→♦	
Thymus neiceffii	Juniper Leaf Thyme	Magenta	Early Spring, Mid Spring	1"	12"	***	•	P, R, UC
Thymus serpyllum	Creeping Thyme	Dark Pink	Early Summer, Mid- Summer	3"	12"	***	٢	• P, R, UC
Thymus vulgaris	Common Thyme	Light Purple	Late Spring, Early Summer, Mid-Summer	12"	12"	***	۲	P , R, UC
Tradescantia occidentalis	Spiderwort	Purple	Summer	24"	18"	**	٢	* P, R
Verbena bipinnatifida wrightii	Wild Verbena	Purple	Summer	6"	18"	***	٢	A; Not long-lived; Low priority
Veronica austriaca	Broadleaf Speedwell	Blue	Late Spring, Early Summer, Mid-Summer	18"	18"	***	٢	P , R, UC, Streetscapes
Veronica filiformis	Creeping Speedwell	Light Blue	Early Spring, Mid Spring, Late Spring	3"	18"	**	۲	W P, R, UC, Streetscapes
Veronica liwanensis	Speedwell	Blue	Mid Spring, Late Spring	1"	18"	***		P, R, UC, Streetscapes
Veronica pectinata	Wooly Speedwell	Blue	Mid Spring	3"	18"	***	•	P, R, UC, Streetscapes
Veronica repens	Creeping Speedwell	White, Cream	Mid Spring, Late Spring	2"	18"	**	•	P, R, UC, Streetscapes
Veronica spicata	Veronica	Blue	Summer	2'-3'	2'-2.5'	***	• •	W P, R, UC, Streetscapes
Viola corsica	Corsican Violet	Violet, Purple	Mid Spring, Late Spring, Early Summer, Mid- Summer, Late Summer, Early Fall, Mid Fall	6"	8"	* + * * *	۵	P; Self-seeds
Zauschneria latifolia var. arizonica	Hardy Hummingbird Trumpet	Dark Orange	Late Spring, Early Summer, Mid-Summer, Late Summer, Early Fall, Mid Fall	6"	18"	***	۵	A; Syn. Epilobium canum
Zinnia grandiflora	Plains Zinnia	Yellow	Summer	12"	12"	***	⊘→♦	* P
GRASSES								
Bouteloua curtipendula	Side Oats Gramma	Insignificant	Summer	1.5'-2.5'	1.5'-2'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
GRASSES (Continued)								
Bouteloua gracilis	Blue Grama	Insignificant	Summer	12"	12'	***	•	
Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	Golden	Summer	12"	12"	***		X A; Very attractive in landscape
Buchloe dactyloides	Buffalograss	Insignificant	Summer	6"	12"	***	•	A; Turf option
Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	Insignificant	Late Spring, Summer, Fall, Winter	3'-5'	1.5'-2.5'	***	$\blacklozenge \blacklozenge \rightarrow \blacklozenge \blacklozenge \blacklozenge$	A; Often cut back in Spring
Festuca glauca 'Elijah Blue'	Blue Fescue	Green Purple	Summer	.75'-1'	.5'75'	***	⊘→♦♦	А
Miscanthus sinensis 'Morning light'	Maiden Grass	Insignificant	Fall, Winter	4'-6'	2.5'-4'	**** *	• •	A; Use natives when possible – not for use adjacent to native areas; Aggressive
Miscanthus sinensis 'Purpurascens'	Purple Maiden Grass	Insignificant	Fall, Winter	3'-4'	2'-3'	***	• •	A; Use natives when possible; Fall color
Muhlenbergia reverchonii Undaunted	Undaunted Ruby Muhly Grass	Pink	Fall	30"	30"	***	•	A; Glows pink in the sunlight
Panicum virgatum 'shenandoah'	Red Switch Grass	Insignificant	August, Fall, Winter	3'-4'	3'-4'	****	$\blacklozenge \blacklozenge \dashv \blacklozenge \blacklozenge \blacklozenge \blacklozenge$	N A
Orzyopsis hymenoides	Indian Ricegrass	Insignificant	Summer	36"	18"	***	•	
Panicum virgatum	Switchgrass	Insignificant	Summer	36"	24"	***	•	A; Any cultivar
Schizachyrium scoparium	Little Bluestem	Insignificant	Fall	4'	30"	***	•	
Sorghastrum avenaceum (nutans)	Indian Grass	Insignificant	Summer	5'	4'	***	۵	
Sporobolus heterolepis	Prairie Dropseed	Insignificant	Summer, Fall	2'-3'	2'-3'	***	$\blacklozenge \rightarrow \blacklozenge \blacklozenge$	

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Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	
TREES		Ornamental	Coniferous	Deciduous							
Acer grandidentatum	Big-Tooth Maple			x	Yellow Green	Late Spring	10'-30'	20'-30'	**** *	• •	* P, I, UC
Acer platanoides	Norway Maple			x	Yellow Green	Early Spring	50'	50'	****	• •	I, P; Potential
Acer rubrum	Red Maple			x	Red	Early Spring, Mid Spring	70'	50'	** **	$\blacklozenge \blacklozenge \neg \blacklozenge \blacklozenge \blacklozenge$	А
Acer tataricum 'HotWings'	Hot Wings Maple	x			Light Green	Mid Spring	20'	20'	****		A; Showy seed
<i>Acer x freemanii '</i> Autumn Blaze'	Autumn Blaze maple			x	N/A	N/A	35'	25'	***	۵.	A; Fall color,
Aesculus glabra	Ohio Buckeye			x	Light Yellow	Late Spring, Early Summer	40'	40'	<u>**</u> **	• •	states
Aesculus hippocastanum	European Horse Chestnut			x	Light Pink	Late Spring	75'	65'	****	• •	A; Has been in
Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry			x	White	Mid Spring	15'-25'	15'-25'	****	• •	N A
Carpinus betulus 'Fastigiata'	European Hornbeam			x	Yellow Green	Early Spring	30'-40'	20'-30'	<u>**</u> **	• •	А
Celtis occidentalis	Common Hackberry Western			x	Green	Mid Spring, Late Spring	60'	50'	***	٠	habitat value a
Cercis canadensis	Redbud	x		x	Pink	Early Spring, Mid Spring	30'	30'	*	• •	ornamental; E
Cercis 'Hearts of Gold'	Eastern Redbud	x		x	Light Red	Early Spring, Mid Spring	25'	25'	¥	♦ ♦	ornamental; E
Corylus colurna	Turkish Filbert			x	Yellow	March	40'-80'	30'-5'	**** *	• •	
Cupressus arizonica	Arizona Cypress		x		Insignificant	Spring	30'-40'	15'-25'	***	۵	Å A
Crataegus crus-galli 'Inermis'	'Inermis' Cockspur Hawthorn			x	White	Late Spring, Early Summer	25'	20'	***	۵	💓 P, R, UC
Crataegus x mordenensis 'Toba'	Toba Hawthorn			x	Pink	Mid Spring, Late Spring	25'	20'	***	۵	A; High
Gleditsia triacanthos f. inermis 'Imperial'	Imperial Honeylocust			X	Yellow Green	Early Spring, Mid Spring	50'	40'	***	۵	I, P, Stre Tough

Notes
, I, UC
tential to be invasive
wy seeds, compact size
color, hardy
R; Fragrant flowers; Fall color; Has been invasive in other
been invasive in other states
I, P (in small groupings); Attractive when large, high bird value and butterfly host
P; Understory tree; Needs protection; Small scale ental; Early nectar source
P; Understory tree; Needs protection; Small scale ental; Early nectar source
· · · · · · · · · · · · · · · · · · ·
, R, UC; High habitat value, early blooms and fall berries
; High habitat value, early blooms and fall berries

P, Streetscapes; High priority; Not messy; Light shade;

LEGEND		
Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	$\mathbf{R} = \mathbf{Residential}$
		I = Industrial
Native*	Moisture Rating (Low Moisture – High Moisture)	P = Parks
	•	A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name		Туре		Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES (Continued)		Ornamental	Coniferous	Deciduous							
Gleditsia triacanthos f. inermis 'Skyline'	Skyline Honeylocust			x	Yellow Green	Early Spring, Mid Spring	35-45'	25-35'	***	۵	V I, P, Streetscapes
Gymnocladus dioica	Kentucky Coffee Tree	x		x	Greenish White	Late Spring, Early Summer	60'-80'	40'-55'	***	۵.	А
Juniperus chinensis	Chinese Juniper		Х		N/A	N/A	20'	6'	***	۲	A; Staple plantings throughout; Provides shelter; Resilient
Juniperus scopulorum	Rocky Mountain Juniper		X		N/A	N/A	30'	12'	**	۵	A; Staple plantings throughout; Provides shelter; Resilient
Juniperus virginiana 'cupressifolia'	Hillspire Juniper			x	N/A	N/A	15'-30'	5'-15'	***	۵.	A
Koelreuteria paniculata	Golden Rain Tree	х		x	Yellow	Early Summer, Mid- Summer	30'	30'	***	۵	P, Streetscapes; Tolerant of alkalinity
Magnolia stellata	Star Magnolia	x		x	White	Early Spring	20'	15'	** *	• •	A; A novelty in protected spot; Blooms are often damaged by frost
Malus 'Adams' or other cultivars	Flowering Crabapple	x		x	Pink	Mid Spring	20'	15'	**	۵.	W P, R, Streetscape; Honeybee forage; Spring interest
Malus domestica (all varieties)	Apple Trees	х		x	Pinkish-White	April	15'-25'	15'-25'	***	۵.	R
Malus floribunda	Japanese Crabapple	х		x	Light Pink	Early Spring, Mid Spring, Late Spring	20'	30'	**	۵.	A; Fragrant flowers
Phellodendron amurense	Amur Cork Tree			х	Yellow Green	Late Summer, Early Fall	20'	30'	***	• •	A; Habitat value for birds, butterflies; Is invasive in NE US
Picea abies	Norway Spruce		х		N/A	N/A	60'	30'	***	٠.	A; Shelter; Attracts birds; Invasive in northern US
Picea engelmannii	Engelmann Spruce		х		N/A	N/A	100'	15'	***	• •	(to high elevations) A; Shelter; Winter interest
Picea glauca	White Spruce		х		N/A	N/A	60'	20'	***	• •	A
Picea pungens	Colorado Spruce		x		N/A	N/A	60'	20'	***	• •	(to high elevations) A; High habitat value; Easily available
Pinus flexilis 'Vanderwolf's pyramid'	Limberpine			x	N/A	N/A	20'-30'	10'-15'	***	۵.	(to high elevations) A
Pinus heldreichii	Bosnian Pine		Х		N/A	N/A	70'	40'	***	۵ ۵	A; Shelter; Winter interest
Pinus edulis	Pinion Pine			x	Yellow	Spring	20'-30'	10'-20'	***	۵	A; Will die from over watering; Keep out of Kentucky Bluegrass
Pinus nigra	Austrian pine	1		x	N/A	N/A	40'-60'	10'-40'	***	• •	A
Pinus ponderosa	Ponderosa Pine			x	N/A	N/A	60'-125'	25'-30'	***		A; Keep out of Kentucky Bluegrass
Populus x acuminata	Lanceleaf Cottonwood				Green, Brown	Spring	40'-60'	30'-40'	***	۵.	P, I; Spreads aggressively
Populus angustifolia	Narrowleaf Cottonwood				White	Spring	30'-50'	20'-30'	***	• •	P, I; Spreads aggressively

CENTERRA APPROVED PLANT LIST (Last Revised December 20, 2022)

Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
		UC = Urban Core
Allowed Species	Protect from sun and wind	$\mathbf{R} = \mathbf{Residential}$
		I = Industrial
* Native*	Moisture Rating (Low Moisture – High Moisture)	$\mathbf{P} = \mathbf{Parks}$
	■ ■	A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name		Туре	:	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES (Continued)		Ornamental	Coniferous	Deciduous							
Populus sargentii	Plains Cottonwood				Yellow	Late Winter, Early Spring	60'-80'	50'-60'	***	••	
Prunus armeniaca	Apricot	х		x	Pinkish-White	April	8'-10'	8'-10'	***	••	R
Prunus avium	Sweet Cherry	х		x	White	April	15'-30'	15'-30'	````````````````````````````````````	••	R
Prunus cerasifera	Cherry Plum	х		х	Light Pink	Early Spring, Mid Spring	25'	20'	***	• •	₩ A; Early bloomer; Fruit for birds
Prunus cerasus	Sour Cherry	Х		X	White	April	7'-9'	8'-10'	***	• •	R
Prunus domestica	Plum	х		x	White	April	8'-10'	8'-10'	***	• •	R
Prunus maackii	Manchurian Cherry	х		x	White	Mid Spring, Late Spring	30'	25'	¥¥→¥¥ ¥	••	₩ A; Early bloomer; Fruit for birds
Prunus padus	Bird Cherry	х		x	White	Mid Spring, Late Spring	30'	30'	**	••	A; Early bloomer; Fruit for birds
Prunus persica	Peaches	х		x	White to Deep Red	March-April	8'-10'	8'-10'	***	••	R
Prunus sargentii	Sargent Cherry	х		x	Pink	Mid Spring	25'	15'	***	• •	A; Especially hardy, slightly later blooming
Prunus virginiana 'Shubert'	Canada Red Chokecherry	Х		X	White	Spring	30'	25'	***	•	X A; Dark foliage provides nice contrast
Ptelea trifoliata	Common Hoptree			х	Light Green	Early Summer	20'	20'	*	•	P, R, Streetscapes; Not easy to find
Pyrus spp.	Fruiting Pear	Х		x	White	March-April	25'-30'	15'-20'	***	• •	R
Pyrus salicifolia 'Pendula'	Willowleaf Pear	х		x	White	Mid Spring	25'	15'	** *	••	A; Tolerant of clay and may drought-tolerant once established
Pyrus ussuriensis	Chinese Pear	Х		x	White	Mid Spring	40'	40'	***	• •	А
Quercus alba	White Oak			х	N/A	N/A	70'	50'	***	• •	Α
Quercus bicolor	Swamp White Oak			x	Yellow Green	Mid Spring	60'	60'	\	• •	А
Quercus rubra	Northern Red Oak			х	Yellow Green	Late Spring	80'	75'	***	• •	А
Quercus imbricaria	Shingle Oak			х	Yellow Green	Mid Spring	70'	60'	***	••	А
Quercus macrocarpa	Bur Oak			х	Yellow Green	Mid Spring	80'	80'	***	•	A A
Quercus muehlenbergii	Chinkapin Oak			х	Yellow Green	Mid Spring	50'	50'	***	•	Α
Quercus palustris	Pin Oak			х	Yellow Green	Mid Spring	70'	60'	***		Α
Quercus robur	English Oak			х	Yellow Green	Mid Spring	60'	40'	***	• •	Α
Quercus robur 'Fastigiata' SKYROCKET	Fastigiate English Oak			x	Yellow Green	Mid Spring, Late Spring	60'	20'	***	••	А
Quercus rubra	Red Oak			Х	Yellow Green	Late Spring	60'	60'	***	● ●	А

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Preferred Species	Do not over water	Abbreviations for Recommended District/Area:
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Allowed Species	Protect from sun and wind	$\mathbf{R} = \mathbf{Residential}$
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* Native*	Moisture Rating (Low Moisture – High Moisture)	$\mathbf{P} = \mathbf{Parks}$
	■ ■	A = All districts/areas (excluding natural areas)
Pollinator**	Sun Exposure Rating (No Sun – Full Sun)	

Scientific Name	Common Name		Туре)	Flower Color	Blooming Season	Height	Spread	Sun/Shade Tolerance	Moisture Needs	Notes
TREES (Continued)		Ornamental	Coniferous	Deciduous							
Quercus shumardii	Shumard Oak			X	Yellow Green	Mid Spring	50'	40'	***	٢	A
Sophora japonica	Japanese Pagoda Tree	x		x	Cream	Mid-Summer, Late Summer	50'	45'	***	۵ ۵	Α
Styphnolobium japonicum	Pagoda Tree	x		x	White	Mid-Summer, Late Summer	75'	75'	★★→★★ ★	• •	А
Syringa pekinensis 'Morton'	Peking Lilac	х		х	White	Early Summer	20'	15'	***	۲	NF A
Tilia cordata	Littleleaf Linden			х	Light Yellow	Early Summer	40'	35'	***	• •	₩ A; Fragrant
Syringa reticulata	Japanese Tree Lilac	x		x	Cream	Late Spring Early Summer	25'	20'	** *	۵	A; High value ornamental providing fragrance in late spring
Tilia americana	American Basswood			x	Light Yellow	Early Summer	50'	40'	***	• •	P, Streetscapes; Reliable summer honeybee forage; Fragrant; Nice pyramidal habit
Tilia amurensis	Linden			x	Light Yellow	Late Spring	75'	50'	★★→★★ ★	۵	A; Adapts to many soils; Good urban tree; Fragrant
Tilia cordata	Littleleaf Linden			X	Light Yellow	Early Summer	40'	35'	***	۵.	A; Fragrant
Tilia tomentosa	Silver Linden			x	Yellow Green	Late Spring, Early Summer	60'	45'	***		A; Fragrant
Tilia x flavescens 'Glenleven'	Glenleven Linden			x	Yellow Green	Late Spring, Early Summer	75'	50'	★★ →★★ ★		₩ A; Fragrant
Ulmus 'Frontier'	Frontier Elm			х	Insignificant	Mid Fall	35'	25'	***	۵.	A
Ulmus 'Heritage'	Heritage elm				Insignificant		40'	30'	***		А
Ulmus 'Morton' Accolade	Accolade Elm			х	Insignificant	Early Spring, Mid Spring	70'	40'	***	• •	A

CENTERRA DO NOT PLANT LIST

SPECIES NOT TO BE PLANTED IN CENTERRA

Scientific Name	Common Name	Notes		
TREES				
Acer palmatum	Japanese Maple	This is very hard to grow		
Acer saccharum	Sugar Maple	Chlorosis		
Acer tataricum	Tatarian maple	Chlorosis, "Hot Wings" is allowed		
Acer triflorum	Three-flowered Maple			
Betula x plettkei 'Golden Treasure'	Dwarf Birch			
Cornus kousa	Chinese Dogwood	Borderline hardy		
Cornus mas	Cornelian Cherry Dogwood	Borderline hardy		
Juniperus virginiana	Eastern Red Cedar	Invasive		
Pinus aristata	Bristlecone Pine	Novelty; maintenance picky		
Pinus contorta	Lodgepole Pine	Novelty; maintenance picky		
Populus tremuloides	Quaking Aspen			
Robinia pseudoacacia	Black Locust	Suckers, thorny, borer damage		
Thuja occidentalis	Arborvitae			
Ulmus americana	American Elm			
Ulmus parvifolia	Chinese Elm	Probably not hardy		
Zelkova serrata	Japanese Zelkova			
Zelkova serrata 'Green Vase'	Green Vase Zelkova			
Zelkova serrata 'Musashino'	Musahino Zelkova			
Zelkova serrata 'Village Green'	Japanese Zelkova			
SHRUBS				
Buddleja alternifolia	Fountain Butterflybush	Invasive potential		
Buxus 'Green Gem'	Green Gem Boxwood	Sun and windburn		
Erica carnea	Winter Heath	Will not survive		
Genista tinctoria	Dyer's Broom	Possible invasive		
Genista tinctoria 'Royal Gold'	'Royal Gold' Broom			
FORBS				
Aegopodium podagraria	Bishop's Goutweed	Do not recommend; invasive potential		
Aquilegia alpina	Alpine Columbine	Will not survive		
Astragalus adsurgens	Prairie Milkvetch			
Astragalus agrestis	Field Milkvetch			
Astragalus ceramicus	Painted Milkvetch			
Astragalus crassicarpus	Ground Plum			
Astragalus gracilis	Slender Milkvetch			
Astragalus missouriensis	Missouri Milkvetch			
Astragalus mollissimus	Wooly Milkvetch			
Astragalus pectinatus	Narrowleaf Milkvetch			

SPECIES NOT TO BE PLANTED IN CENTERRA (CONTINUED)

Scientific Name	Common Name	Notes
FORBS		
Chamaemelum nobile	Roman Chamomile	
Dicentra eximia	Bleeding Heart	Won't thrive in this climate
Epimedium x rubrum	Bishop's Hat	Won't thrive in this climate
Euphorbia polychroma	Cushion Spurge	Other nonnative spurges can be invasive
Gypsophila paniculata	Baby's Breath	Invasive
Gypsophila repens	Creeping Baby's Breath	
Lavandula stoechas	Lavender	French and Spanish spp. not hardy
Leucanthemum x superbum	Shasta Daisy	Potentially invasive
Lupinus pusillus	Annual Lupine	Concern about invasive
Nepeta cataria	Catnip	Weed, Catnip escapes frequently into natural areas and has become a weed.
Parthenium integrifolium	Wild Quinine	
Persicaria polymorpha	Knotweed	Invasive potential, 3 species of knotweed listed on CC noxious weed list - this one is not
Persicaria virginiana	Jumpseed	Invasive potential
GRASSES (NOT TO BE USED IN SEED I	MIXES)	
Agropyron desertorum, A cristatum	Crested Wheatgrass	
Agropyron intermedium	Intermediate Wheatgrass	
Agropyron repens (Elytrigia repens or Elymus repens)	Quackgrass	
Agrostis stolonifera, A.alba, A. gigantea, A. palustris	Creeping Bentgrass	
Alopecurus pratensis	Meadow Foxtail	
Bromopsis inermis (Bromus inermis)	Smooth Brome or Hungarian Brome Grass	
Dactylis glomerata	Orchardgrass	
Festuca arundinacea (Lolium arundinaceum)	Tall Fescue (adjacent to wetlands)	
Festuca ovina var. ovina	Hard Fescue or Sheep Fescue	
Festuca pratensis	Meadow Fescue	
Phalaris arundinacea (Phalarioides arundinacea)	Reed Canary Grass	
Phleum pratense	Timothy	
Poa compressa	Canada Bluegrass	
Poa pratensis	Kentucky Bluegrass (adjacent to wetlands)	
Saccharum (erianthus) ravennae	Hardy Pampas Grass	

CENTERRA SEEDING, MULCHING AND SOIL PREPARATION

1.0 SOIL PREPERATION

1.1 Soil Amendments

A. Fertilizer

Phosphorous fertilizer is typically deficient in Colorado soils. Because phosphorous is a promoter of root growth it is extremely beneficial to new seedlings. Phosphorous is also immobile in clay soils, so it needs to be applied previous to tillage work so it will be incorporated into the root zone.

All areas shall be fertilized with 18-46-0 at 150 lbs/acre or an equivalent fertilizer that will provide no less than 27 lbs/acre of nitrogen and 69 lbs/acre of phosphorous. Empty fertilizer bags or weight ticket shall remain available for inspection.

B. Compost

All irrigated turf grass areas shall receive compost at the rate of 3 cubic yards per 1000 sq ft. Native grass areas shall receive compost at 2 cubic yards per 1000 sq ft. Weight tickets shall be available for inspection.

The compost shall be Biocomp Class 1 compost from A-1 Organics, or approved equivalent.

In wetland or moist meadow areas no compost will be required. The goal here is to keep nutrients out of the wetland areas to discourage rampant growth of cattails.

1.2 Tillage

Tillage is one of the most important steps that is often overlooked. All areas shall be thoroughly tilled to a depth of 6 - 8 inches after the soil amendments have been applied. This can be accomplished with rototilling machinery, or in larger areas, agricultural machinery such as chisel plows and/or discs. After tillage is complete, no dark areas resulting from the compost application shall be observed.

1.3 Fine Grading

After tillage is complete all areas shall be fine graded.

Grading for turf areas will require more detail than native areas. Turf areas shall be smooth, even and 1"below adjacent sidewalks and curbs.

The grade for native areas can be left somewhat rougher or less detailed, because these areas will be managed with a larger class of machinery, i.e. tractors and brush hog type rotary mowers.

2.0 SEED MIXES

2.1 Seed Selection Process

Seed mix selection must be reviewed and approved by DRC Member and High Plain Environmental Center Executive Director Jim Tolstrup.

There are three steps in the seed selection review process:

1) During the design phases

2) The seed mix bags must be signed off on by Jim Tolstrup before spreading the seed.

3) At the time of compliance inspection

2.2 Turf Seeding

A. Tall Fescue Turf Areas

These areas shall be seeded with Sharp Bros Seed Dura Turf Lawn Mix, or equivalent at the rate of 8 lbs/1000 sq ft:

Turf type tall fescue	80%
Kentucky bluegrass, turf quality	10%
Ryegrass, turf quality	10%

B. Kentucky Bluegrass Turf Areas

These areas shall be seeded with Sharp Bros Seed Premium Lawn Mix, or equivalent, at 3 lbs/1000 sq ft.

2.3 Native Grass Seeding

A. Native Grass Turf Areas - "Enhanced" short native grass that can be left un-mowed adjacent to formal landscaped areas

These areas shall be seeded with the following mix seeded at 2 lbs. PLS/1000 sq. ft. or 86 lbs./acre.

Buffalo grass, Cody or Bowie	40%
Blue grama, Alma or Bad River	20%
Sideoats grama, Vaughn or El Reno	20%
Slender Wheatgrass	20%

Slender wł Western w Green need Canada wi Beardless Annual rye Blue gram Sideoats g Little blues Yellow Inc Tomahawk Big blueste Switchgras Alkali saca

Total

These areas shall be seeded with High Plains Wet Meadow Mix by Western Native Seed or equivalent at the rate of 10 lbs./acre In addition to the wetlands mix above add the following tall warm season grasses:

Big Blueste Yellow Ind Switchgrass

These added to the Wet Meadow mix totals 20 pounds/acre.

These areas will likely be broadcast seeded and not suitable to drill seeding because of their size and/or they may be wet. To facilitate broadcasting the seed more evenly, rice hulls should be added to bulk up the mix.

2.4 Erosion Control or Overlot Areas - for temporary soil stabilization

B. Upland Native Areas - for open space areas

	Lbs. PLS/acre	Seed Box Designation
heatgrass	3	smooth
vheatgrass, Rosana	a 3	smooth
dle grass, Lodorm	ı 1	smooth
ildrye, Mandan	1	smooth
wildrye, Shoshon	e .5	smooth
e	2	smooth
a, Bad River	.5	fluffy
rama, Vaughn	1.5	fluffy
estem, Camper	1.5	fluffy
diangrass	1	fluffy
k or Neb 54		·
em, Pawnee	1	fluffy
ss, Blackwell	.5	fine
aton	.25	fine

16.75 pounds pure live seed per acre

C. Wetland or Wet Meadow Areas - for wet pond bottoms

	Lbs. PLS/acre
em, Kaw or Pawnee	5
dian grass, Tomahawk or Neb 54	4
ss, Blackwell	1

These areas shall be drill seeded with the following mix:

Lbs PLS/acre



CENTERRA SEEDING, MULCHING AND SOIL PREPARATION

5

3 3

Slender wheatgrass	
Western wheatgrass, Rosana	
Canada wildrye, Mandan	

Total 11 pounds Pure Live Seed/acre

3.0 SEED APPLICATION

3.1 Seed Drill

Native seeding must be completed with a native grass drill that has 3 seed boxes that are capable of metering and applying fine seed, fluffy seed and smooth seed. These three types of seed are designated on the seed mixes. Examples are smooth seed -

wheatgrasses, fluffy seed - yellow Indian grass, and fine seed - alkali sacaton.

For the turf grasses or other mixes, small areas can be hand broadcast or a brillion drill or other appropriate drill should be used.

3.2 Seed Tags

Native seed mixes must be ordered so that fluffy seed, fine seed and smooth seed are bagged separately and can be placed in the appropriate seed box for application. Tags for all mixes including the native seed, must be provided for inspection prior to any seed being planted.

4.0 MULCH

4.1 Hydromulch

Native seed areas and turf grass areas shall be mulched with virgin woodfiber hydromulch with steam separated fibers. Recycled paper hydromulch or ground wood chip hydromulch are not acceptable. The rate of application shall be 2500 lbs/acre.

4.2 Straw Mulch

Overlot areas or temporary erosion control seeding shall be mulched with weed free certified straw at a rate of 2 tons/acre, crimped 3 - 4 inches into the soil surface.

5.0 SITE CLEANUP

Hydromulch overspray must be cleaned off all sidewalks, fences, light poles switch cabinets and landscape material. When straw mulching is complete all twine or bale wrap material must be picked up and removed.

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2.19 Lighting

No uplighting is allowed. All exterior light fixtures must be full cut off, fully shielded type, meaning that the light source is not visible. Low wattage decorative and "candle" type fixtures may be approved by the DRB on a case by case basis. Floodlights and walls packs are not allowed. High pressure sodium lights are not allowed. Low level landscape lighting should not exceed 500 watts total.

High pressure sodium lights are strictly prohibited.

Except for holiday seasonal lights (which are appropriate from Thanksgiving through the first week of January or 10 days before and after other nationally recognized holidays), colored lights are not permitted. All exterior lighting should be white and unless otherwise approved by the DRB. In the sole discretion of the DRB, this time period may be extended due to extreme weather conditions. During such extended period, lighting may not be illuminated.

Site lighting and exterior house lighting on sites adjacent to environmentally sensitive areas will be reviewed on a case by case basis.

Submittal Requirements:

Owner must provide a site plan showing where the site lighting will be located and a specifications of the light fixture(s) proposed.

2.20 Mailboxes

Individual mailboxes are not permitted. The United States Postal Service requires group mail boxes.

2.21 Mechanical Equipment

All utility meters, electrical boxes, air conditioning condensor units , transformers, etc. must be visually screened with shrubs (so as not to be visible from any street or Common Area) and shall not be located in front yards.

All mechanical equipment (electrical boxes, conduits, etc.), radon systems, and vents attached to the exterior of the house shall be painted to match the color of the adjacent siding or surface.

All electrical wiring services must be located underground.

Window and wall mounted air conditioning units are prohibited.

Submittal Requirements:

None required provided you comply with the above guidelines. Additional units, installed after initial construction of the new home requires DRB approval

2.22 Play Equipment

Play equipment includes play structures, houses, swing sets, trampolines, sports equipment, etc. Other than play houses, play equipment shall not be taller than 9'-0". Playhouses should not be taller than 6'. All play equipment is allowed only in rear yards, and must maintain a minimum 5' setback from any property line. Play equipment must have a minimum of 5' from any structure.

- a. Awnings and/or coverings must be earth tone in color.
- b. Metal and plastic play equipment must be earth tone in color.
- c. Wood play structures must be of redwood or cedar and must be assembled and maintained.

Play equipment may not be attached to a deck or main structure.

Play houses may not exceed 6' in height or 50 sq.ft. in size. Variations to this requirement will be reviewed on a case by case basis. Tree houses are not permitted.

Consideration should be given to adjacent properties, so as not to create an undue disturbance.

Submittal Requirements:

A description of the play equipment with its dimensions and colors (photographs where available). A plan showing the location of the play equipment, adjacent buildings and property lines.





2.23 Pools

Pools and associated decks shall be located in the rear yards of the Site and shall not encroach any easements or be located within 5' of any property line. Pool equipment must be fully screened on all sides with a 6' cedar privacy fence and located adjacent to the dwelling unit. Above ground, masonry block, and pneumatic pools are not allowed. Completely in-ground vinyl clad concrete pools are required to have a brick, cast stone or natural stone coping and ceramic tiled water line. Construction access is permitted only across the Site on which the pool is to be constructed. All excess soil shall be removed from the Properties and properly disposed of. Pool overflow may not be directed onto adjacent Sites or the Common Elements. Installation of pool structures and associated decks, retaining walls, landscaping, fencing, etc., shall not alter or impair the surface drainage on adjacent Site.

Submittal Requirements

A site plan with propose location of pool, details of design and materials.

The location and description of all mechanical equipment, lighting, etc and type of screening to be provided.

Construction Plans drawn to scale.

2.24 Retaining Walls

Retaining walls shall be constructed of Loveland/Masonville Buff sandstone or equal and shall be limited to 4'-o' in height unless it can be shown that site conditions justify a taller wall. Wood or railroad ties are not allowed for retaining walls. Retaining walls greater than 4'-o" in height shall be designed by a licensed professional engineer in the State of Colorado. Retaining walls shall not alter or impair the drainage across adjacent properties.

Submittal Requirements:

Owner must provide a site plan showing where the wall will be installed on the Site and the dimensions.



2.25 Satellite Dishes

All dishes over one meter in size are prohibited. The maximum amount of visible wiring allowed is 4'. All dishes should be installed to receive optimum signal while minimizing visual impact from public roads. Installation of dishes on the front elevation are strongly discouraged.

Submittal Requirements:

No requirements if the criteria above is met.

2.26 Screen and Storm Doors

Screen and storm doors shall have a 9" maximum wide frame, which shall be finished to match or complement the window mullions or the house trim.

Storm doors shall have transparent glass. There shall be no cross members or ornamentation.

Screen doors shall have screen mesh with an even transparent look.

Submittal Requirements:

None required provided you comply with the above guidelines.



2.27 Shutters

Shutters shall be half the width of the adjacent window (i.e., $3' \times 6'$ window equals $1' \cdot 6'' \times 6'$ shutter). The intent is to provide for a visually operable shutter.

Shutters shall be painted to match or complement the existing home.

Windows wider than 4'•0" will typically not be allowed to have shutters.

Submittal Requirements:

None required provided you comply with the above guidelines.

2.28 Solar Collectors

Solar collectors must be integrated into the design of the house to fit flush with the wall or roof surface of the structure. Frame color of the unit and conduits must match or blend with the adjacent surface.

Submittal Requirements:

Owner must provide a drawing showing location of the solar collector on the house including dimensions and color.

2.29 Sport Courts

Sport courts are not permitted.



2.30 Storage Sheds

Per Article 9.9.d of the CC&R's, storage sheds must be permanent; Temporary sheds are prohibited.

Storage sheds must be located in the rear yard abutting the house and may not be located within any setback. Storage sheds must used for their intended use.

Should not exceed 8' at its tallest point.

Storage sheds shall have maximum square footage of 75 square feet.

Metal, plastic and composite storage sheds are not allowed.

Storage sheds shall be of wood and/or masonry construction with finish and color to match or complement that of the house.

Storage shed roofing must match or complement that of the house.

Only one storage shed is allowed per site and is not allowed on a site that already has a gazebo or playhouse.

Submittal Requirements:

A site plan showing the location of the shed, existing structures and property lines.

A description and the dimensions of the shed (i.e., construction drawing).

A description of materials and color for the shed and those of the house.

2.31 Trellis, Arbor, or Pergola

The trellis, arbor, or pergola shall be attractive in appearance, without an excess of detail ornamentation.

The trellis, arbor, or pergola shall be of cedar, redwood or other material approved by the DRB.

If painted or stained, the trellis, arbor, or pergola shall coordinate and compliment the colors of the house.

Overall height of the trellis, arbor, or pergola shall not exceed 12'-0".

The trellis, arbor, or pergola may be attached to the house or detached (free standing).

Free standing pergolas should not exceed 144 sq. ft. in size. (Larger sizes may be approved on case by case basis depending upon the yard area and proposed location.) Attached pergola may exceed 144 sq. ft. if at the discretion of the DRB it blends into the architectural fabric of the house.

Trellis, arbor, or pergolas shall be located in side or rear yard locations only.

Trellis, arbor, or pergolas may not be located within any setback or drainage, utility, or maintenance easements.

Only one arbor or pergola is allowed per site.

Construction shall not alter the drainage patterns established by the Master Drainage Plan.

Submittal Requirements:

A site plan, elevations, roof plan and other construction drawings, drawn to scale which adequately describe the construction proposed.

Proposed exterior color and materials.

A site plan showing the location of the existing and proposed structures, and property lines.

2.32 Planter Box, Flower/Vegetable Gardens, Raised beds

Flower/garden, raised beds, and/or planter boxes are encouraged.

Planterbox, Flower/Vegatable gardens, raised beds may not encroach into any easement.

Submittal Requirements:

Owner shall provide dimensions and materials of raised beds and site map depicting the location on Site.



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Use Restrictions



Kinston Use Restrictions

Kinston Use Restrictions

USE RESTRICTIONS

1.0 Animals

Per Article 9.21 of the CC&Rs, no animals of any kind shall be raised, bred or housed within the Property without the prior written consent of the Association Board, except the following:

1.1.1 An Owner shall be permitted to house on its Site up to three (3) domestic pets (including dogs, cats and other domestic animals approved by the Association Board and allowed by City Code)

1.1.2 An owner shall be permitted to keep on its Site a reasonable (as determined by Association Board) number of bees.

1.1.3 Disabled persons shall be permited to keep service and other animals on the Property in compliance with the Fair Housing Act and the Americans with Disabilities Act.

Owners are responsible for assuring that their pets do not run free. All household pets shall be controlled by their owner and shall not be allowed off the owner's Site except when properly leashed and accompanied by the owner.

Pet owners are responsible for the immediate removal and proper disposal of animal waste deposited on any common area. Pet owners are liable for any damage to persons or site caused by their pets.

1.2 Business Activities

Per Article 9.6 of the CC&Rs, no business or trade may be conducted in or from any Site, except that an Owner or occupant residing in a dwelling on a Site may maintain a home office within such dwelling so long as:

1.2.1 The existence or operation of the home office is not apparent or detectable by sight, sound, smell or vibration from outside the dwelling,

1.2.2 The home office conforms to all applicable zoning and other legal requirements,

1.2.3 The home office does not involve regular visitation to the dwelling by clients, customers, suppliers or other business invitees or door-to-door solicitation of residents of the Property.

1.2.4 The home office is consistent with the residential character of the Property and does not constitute a nuisance or a hazardous or offensive use or threaten the security or safety of other residents of the Property

1.3 Common Area Maintenance By Owners

Certain areas have been designated as open space, wetland or preserves on neighborhood plats and shall be maintained as required by regulatory authorities and as described in specific permit conditions and in the Declaration.

The following Common Area maintenance functions are **NOT allowed** by Residents. This is not an inclusive list of restricted functions.

- 1.3.1 Spraying of any chemicals including but not limited to herbicides, fertilizers and pesticides
- 1.3.2 Removal or pruning of grasses, shrubs, and trees
- 1.3.3 Watering of any kind
- 1.3.4 Planting of new shrubs, trees, or planted material
- 1.3.5 Addition of new mulch to any of the common area
- 1.3.6 Mowing of any common area
- 1.3.7 Any maintenance functions within site not owned by, but maintained by the Association or community partner
- 1.3.8 Dumping of grass clipping or other plant debris.

1.4 Garbage/Trash Receptacle And Materials

No refuse, garbage, trash, lumber, grass, shrubs or tree clippings, plant waste, metal, bulk materials, scrap or debris of any kind shall be kept, stored, or allowed to accumulate on any Site.

Compost shall be kept in a suitable container with an attached lid located in a screened area in the inside



sideyard or rear yard solely for the purpose of composting; No such containers or bins may be located in any setback area.

All trash, recycling, and yard waste receptacles shall be kept in sanitary containers, enclosed, and screened from public view except on collection days.

1.5 Holiday Seasonal Decor And Lighting

Exterior holiday seasonal décor and lighting is restricted to a time period from Thanksgiving to the first week of January and ten (10) days before and after other nationally recognized holidays.

1.6 Leases

The term "residential lease", as used herein, shall mean an agreement (including a sublease) between the Owner or occupant of a dwelling within the Property and another person whereby such other person is granted a right of occupancy with respect to all or any portion of such Owner's or occupant's dwelling for which such Owner receives any consideration or benefit including rent, or any other fee, service, gratuity or emolument. Any Owner has the right to lease his Site, or any portion thereof, under the following conditions:

- 1.6.1 All leases shall be in writing; and
- 1.6.2 All leases shall be expressly subject to the Community Documents; and
- 1.6.3 All leases provide that failure by the lessee under such Residential Lease or such lessee's guests to comply with the Community Documents shall be a default under such Residential Lease; and
- 1.6.4 All leases be effective for an initial term of no less than six (6) months (not including renewals periods, extension terms or month-to-month periods after the expirations of the initial term).

The owner or such occupant shall be liable for any violation of the Community Documents committed by its lessees or such lessees' guests. The owner shall make available to its lessees copies of the Community Documents.

Within fifteen (15) days after entering into any Residential Lease, the Owner of the leased premises shall deliver to the Association a signed memorandum with the name and contact information of the lessee, the date of the initial term of the lease, sublease or other agreement expires, and the length of each renewal period and each extension term with respect thereto, if any.

1.7 Site Requirements

1.7.1 General Conditions

Each Owner shall, at all times, maintain, repair and replace such Owner's site, and all improvements on said Site, including, but not limited to, the Dwelling Unit, landscape and irrigation. Furthermore, if an improvement on a site should be destroyed in whole or part by fire, hail, windstorm or other act of God, the same shall be rebuilt by the Owner within a reasonable time after destruction, as determined by the Association Board, and all debris promptly removed by the Owner, so as not to render any such Site or portion thereof, as determined by the Association Board, unsanitary, unsightly, offensive or detrimental to any other site or to its occupants.

1.7.2 Damage to Neighboring Properties

If a project causes damage to neighboring site or common area, the Owner is responsible for any necessary repairs or restoration, including, if necessary, all costs incurred in enforcing the obligation. Damage to neighboring properties is a civil matter and will not be arbitrated by the Association.

1.7.3 Landscape Installation Timeline

Each owner shall landscape their front and rear yard, unless installed by the Builder, within one hundred eighty (180) days after acquisition of such site by such Owner if acquisition occurs between April 1 and October 1; if acquisition does not occur between such dates, then such landscaping shall be installed by such Owner by the following October 1. The Design Review Board (DRB) may allow reasonable extensions of such period to account for abnormal weather conditions or other constraints on landscape installation.

It is the responsibility of each Owner to ensure that the front and rear yard are kept free of weeds



prior to and during landscape installation. Each Owner shall mitigate sheeting water and mud moving from their unlandscaped site onto neighboring properties.

1.7.4 Project Clean-Up

Owners are responsible for all clean-up of any site improvement project. All debris, sod, soil, etc. is to be removed and hauled to the proper waste sites, outside of the community. It is prohibited to dump waste in open space, common area, streets, or any site not owned by the Owner.

1.7.5 Spring and Fall Clean-Up

Spring cleanup consists of thorough raking of turf areas to remove winter debris and to promote new growth. Fall cleanup should consist of leaf removal at reasonable frequency. Owners are responsible for both spring and fall cleanup of their site.

1.7.6 Tree Maintenance

Pruning of trees must be in compliance with horticulture standards. Tree topping, which leaves limbs and branches greater than one-half (1/2") in diameter exposed, will not be allowed. Trees should be spot-pruned during the growing season to promote shaping, thinning and to remove branches that interfere with nearby improvements or pedestrian traffic. During the dormant season, trees should be pruned to remove dead, damaged or crossing branches in an effort to develop the natural form of the tree. Dead or diseased trees must be removed or trimmed as soon as discovered, to protect against the spread of disease. Dead or diseased trees, which have been removed, shall be replaced as necessary to maintain the appearance of the lost as approved by the DRB and to meet the minimum landscape requirements set forth. An Owner may not cut down or remove any living tree without the approval of the DRB.

1.7.7 Turf Maintenance

"Turf" means continuous plant coverage consisting of hybridized non-native grasses, or grasses that have not been hybridized for arid conditions that, when regularly mowed, form a dense growth of leaf blades and roots. Turf should be mowed regularly and the turf should be maintained at a height not exceeding three inches (3"). During the spring and fall months, increased mowing is recommended at a shallower mowing to reduce stress on the grass. Walks and driveways must be swept or blown free of grass clippings and kept free of weeds. Walkways and planting beds are to be kept edged to maintain a crisp appearance. Tree rings should be edged and kept free of weeds, either manually or through appropriate post-emergency herbicides. Watering, fertilizing, and aeration should be conducted as necessary to keep the quality and color of turf reasonably consistent with that of neighboring residential sites. Owners shall be responsible to treat turf, planting beds, rock and/or mulched areas as necessary to control broadleaf weeds.

1.7.8 Weed Control

Owners are responsible to ensure their site is kept free of weeds, which includes but is not limited to, front and rear yard turf, walkways, sidewalk joints, driveways, street and gutter joints, tree rings and planter beds either manually or through appropriate herbicides.

1.8 Nuisances

No nuisance shall be permitted which is visible within or otherwise affects the Community or any portion thereof, nor any use, activity or practice which unreasonably interferes with the peaceful enjoyment or possession and proper use of other Sites in the Community or any portion thereof. As used herein, the term "nuisance" shall include each violation of the Governing Documents, but shall not include any activities of Declarant or a Builder. No noxious or offensive activity shall be carried on upon any Site, nor shall anything be done or placed on any Site which is or may become a nuisance or cause unreasonable embarrassment, disturbance or annoyance to others. No Site may be used for growing, sale or dispensing of marijuana.

1.8.1 No Annoying Lights, Sounds or Odors

No light shall be emitted from any Site which is unreasonably bright or causes unreasonable glare; no sound shall be emitted from any Site which is unreasonably loud or annoying; and no odor shall be permitted from any Site which is noxious or offensive to others.

1.8.2 No Hazardous Activities; No Hazardous Materials or Chemicals No activities shall be conducted on any Site, or within Improvements constructed on any Site, which are or might be unsafe or hazardous to any person or site. Without limiting the generality of the



foregoing, no firearms shall be discharged upon any Site, and no open fires shall be permitted on any Site, except in a contained barbecue unit while attended and in use for cooking purposes, or within a fireplace and/or fire pit, or except such campfires or picnic fires on site which may be designated for such use by the Association. Further, no hazardous materials or chemicals shall at any time be located, kept or stored in, on or at any Site except such as may be contained in household products normally kept at homes for use of the residents thereof and in such limited quantities so as to not constitute a hazard or danger to person or site.

1.9 Signage

Signage is restricted per the Declaration, Article 9.10 Signs. The following additional provisions will apply, unless otherwise restricted by the City of Loveland.

Signage erected for the purpose of advertising a home for sale or rent must be removed within five (5) days following the closing of the site, termination of the listing agreement, or signing of the rental agreement.

"No Soliciting", security/alarm notifications and dog warnings shall be limited to placards or stickers not to exceed 75 square inches in size in a window near the front door, or planting bed nearest the front door.

1.10 Vehicle Parking, Storage and Repairs

No house trailer, camping trailer, boat trailer, hauling trailer, snowmobile, jet ski, boat, or accessories thereto, truck (excluding, except as hereinafter provided, pickup trucks that are 1 ton capacity or less), self-contained motorized recreational vehicle, or other type of recreational or commercial vehicle or equipment, may be parked or stored on any street in the Community, or on a site unless such parking or storage is entirely within the garage area of any Dwelling Unit for longer than 48 hours.

1.10.1 Commercial Vehicles

A "commercial vehicle" means a vehicle that meets any of the following:

- 1. Is used to transport cargo or passengers for profit or hire; or
- 2. May (but is not required to) contain signage, advertising, or written information on the vehicle or extending from the vehicle; or
- 3. Any vehicle registered with the State Motor Vehicles Department as a "commercial vehicle"; or
- 4. Meets the definition of the City of Loveland ordinances for being a commercial vehicle; or
- 5. Any vehicle that is larger than 1 ton capacity.
- 1.10.2 Recreational Vehicles

A "recreational vehicle" includes motor homes, conversion vans, pick-up trucks with camper shells, trailers, self-contained recreational vehicles, motorcycles, motorbikes, snowmobiles, jet skis, boats, all-terrain vehicles, and other apparatus intended for use on land, water, or in the air, and the trailers for their transportation.

1.10.3 Abandoned Vehicles

No abandoned or inoperable automobiles or vehicles of any kind shall be stored or parked in the Community except in the garage of a Dwelling Unit. An "abandoned or inoperable vehicle" shall be defined as any automobile, truck, motorcycle, or other similar vehicle, which has not been driven under its own propulsion for a period of seventy-two (72) hours or longer, or which does not have an operable propulsion system installed therein, or which is not then currently registered and licensed, or exhibits other characteristics of being abandoned or inoperable, such as, but not limited to, flattened tires or broken windows.

1.10.4 Repair and Maintenance

No activity such as, but not limited to, maintenance, repair, rebuilding, dismantling, repainting, or servicing of any kind of vehicles, trailers, boats, may be performed or conducted in the Community unless it is done within a completely enclosed structure which screens the sight and sound of the activity from the street and from adjoining site. The foregoing restriction shall not be deemed to prevent the washing and polishing of any motor vehicle, boat, trailer, motor cycle, or other vehicle, together with those activities normally incident and necessary to such washing and polishing on a site.

